



## **Environmental Planning Commission**

**Agenda Number: 07**  
**Project Number: 1005354**  
**Case #: 16EPC-40059 & 40060**  
**November 10, 2016**

### **Staff Report**

<b>Agent</b>	Design Plus, LLC
<b>Applicants</b>	Sawmill, LLC
<b>Request</b>	<b>Site Development Plan for Subdivision Amendment</b>  <b>Site Development Plan for Building Permit Amendment</b>
<b>Legal Description</b>	Tract 2-D-1, Arbolera de Vida Unit 2B, and Lot 2, Correction Plat of Sawmill Village; Lots 3 through 10, Correction Plat of Sawmill Village; Lots 1-A, 1-B and 1-C Sawmill Village
<b>Location</b>	On Bellamah Ave. NW, between 18th St. NW and 19th St. NW
<b>Size</b>	Approximately 10 acres
<b>Zoning</b>	SU-2/SU-1 for PRD and SU-2/SU-1 for PRD and Microbrewery

### **Staff Recommendation**

**APPROVAL of 16EPC-40060, based on the  
Findings beginning on Page 17, and  
subject to the Conditions of Approval  
beginning on Page 19.**

**APPROVAL of 16EPC-40059, based on the  
Findings beginning on Page 20, and  
subject to the Conditions of Approval  
beginning on Page 23.**

**Staff Planner**  
**Catalina Lehner-AICP, Senior Planner**

### **Summary of Analysis**

The request is for amendments to the Sawmill Village site development plan to allow changes to what was approved in 2011 for the undeveloped, western portion (Phase II) of the subject site. The end-users for the two buildings (A-1 and A-2) have changed. The amendments include increased building square footages and associated changes to parking, landscaping, and plaza areas.

The subject site is in the Central Urban area and in a designated Metropolitan Redevelopment Area (MRA). The Sawmill/Wells Park Sector Development Plan applies. The request mostly furthers applicable Goals and policies. Instances of non-compliance with the design standards can be remedied through conditions of approval.

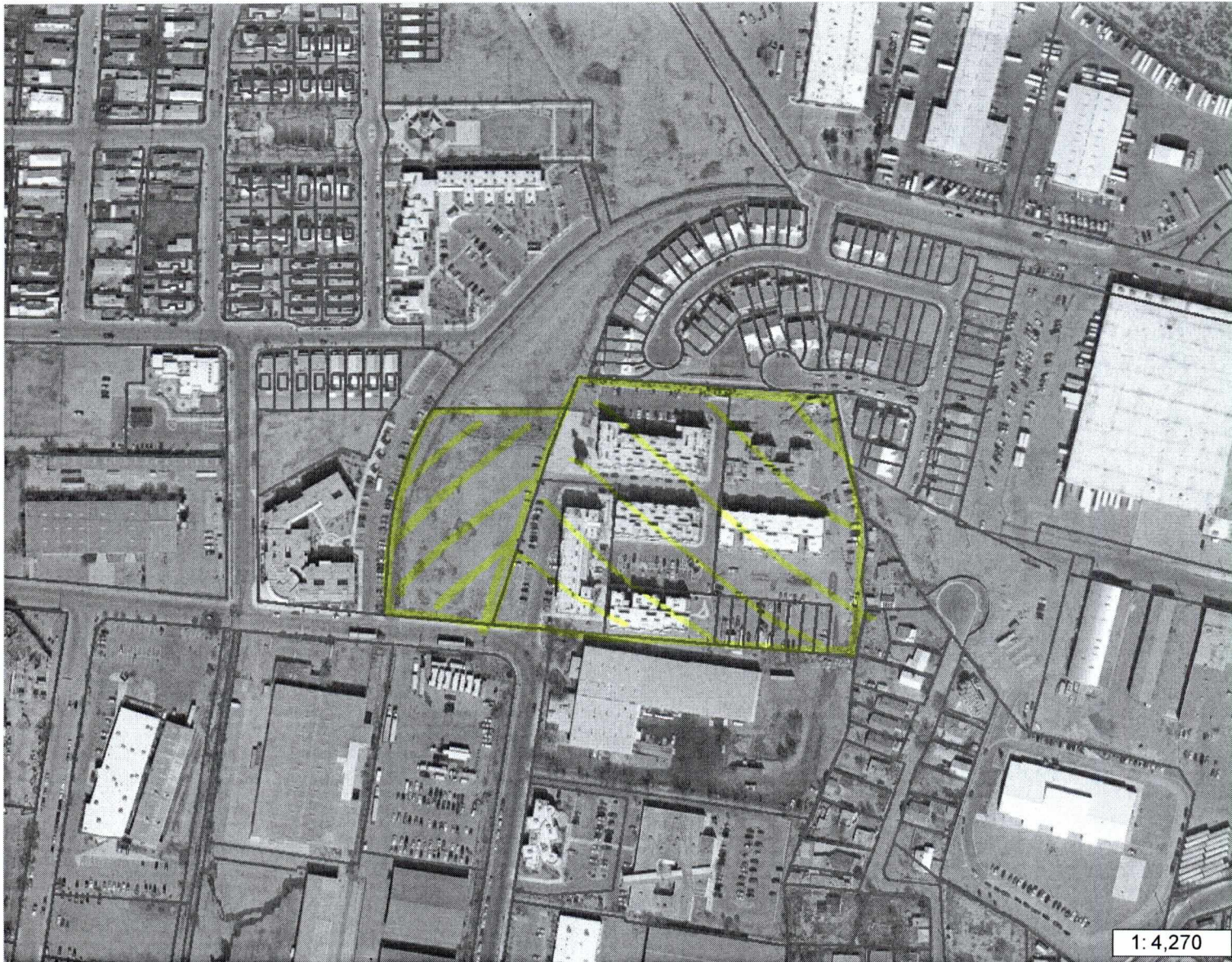
The Sawmill Area Neighborhood Association was notified, as were property owners within 100 feet of the subject site. Staff received a call from the agent of a nearby property owner, and is not aware of any opposition. Staff recommends approval subject to conditions.







# Project #1005354, EPC 11-10-'16



## Legend

- Bernalillo County Parcels
- Municipal Limits**
  - Corrales
  - Edgewood
  - Los Ranchos
  - Rio Rancho
  - Tijeras
  - UNINCORPORATED
- World Street Map

## Notes

- Phase II
- Phase I

0.1 0 0.05 0.1 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
11/2/2016 © City of Albuquerque

This map is a user generated static output from [www.cabq.gov/gis](http://www.cabq.gov/gis) and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR LEGAL PURPOSES





Note: Grey shading indicates County.



16EPC-40060





## LANDUSE MAP

Note: Grey shading  
indicates County.



1 inch = 300 feet

Project Number:

1005354

Hearing Date:

11/10/2016

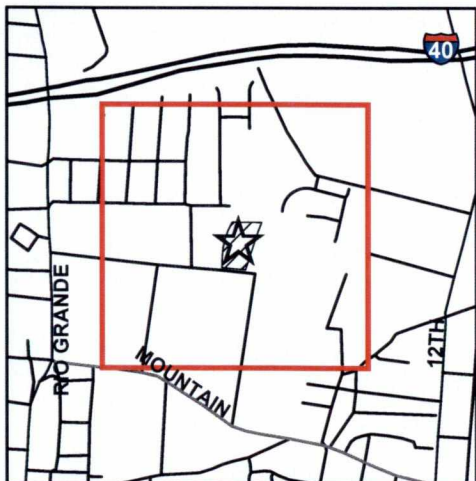
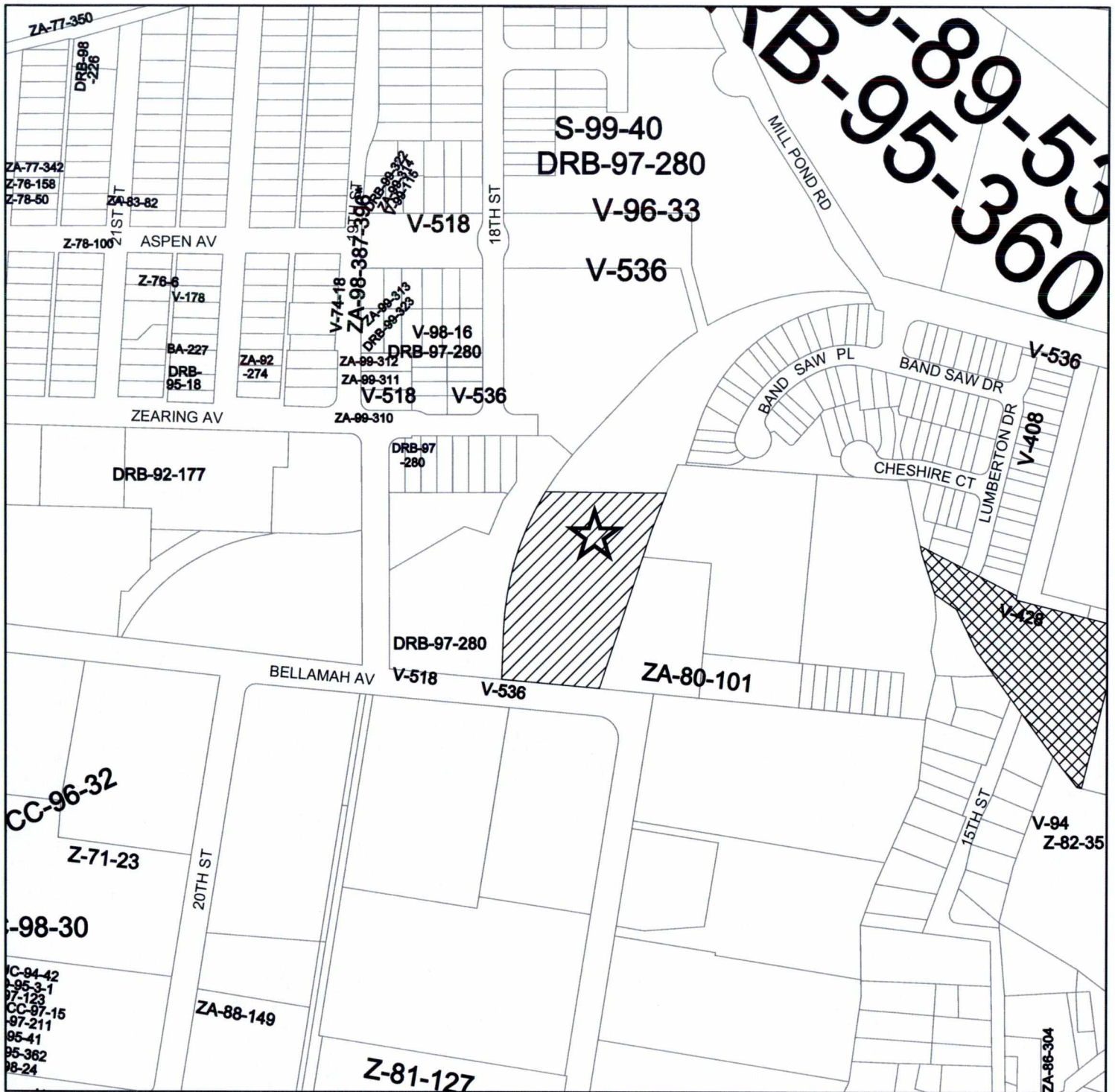
Zone Map Page: J-13

Additional Case Numbers:

16EPC-40059

16EPC-40060





## HISTORY MAP

Note: Grey shading indicates County.



1 inch = 300 feet

Project Number:  
1005354

Hearing Date:  
11/10/2016

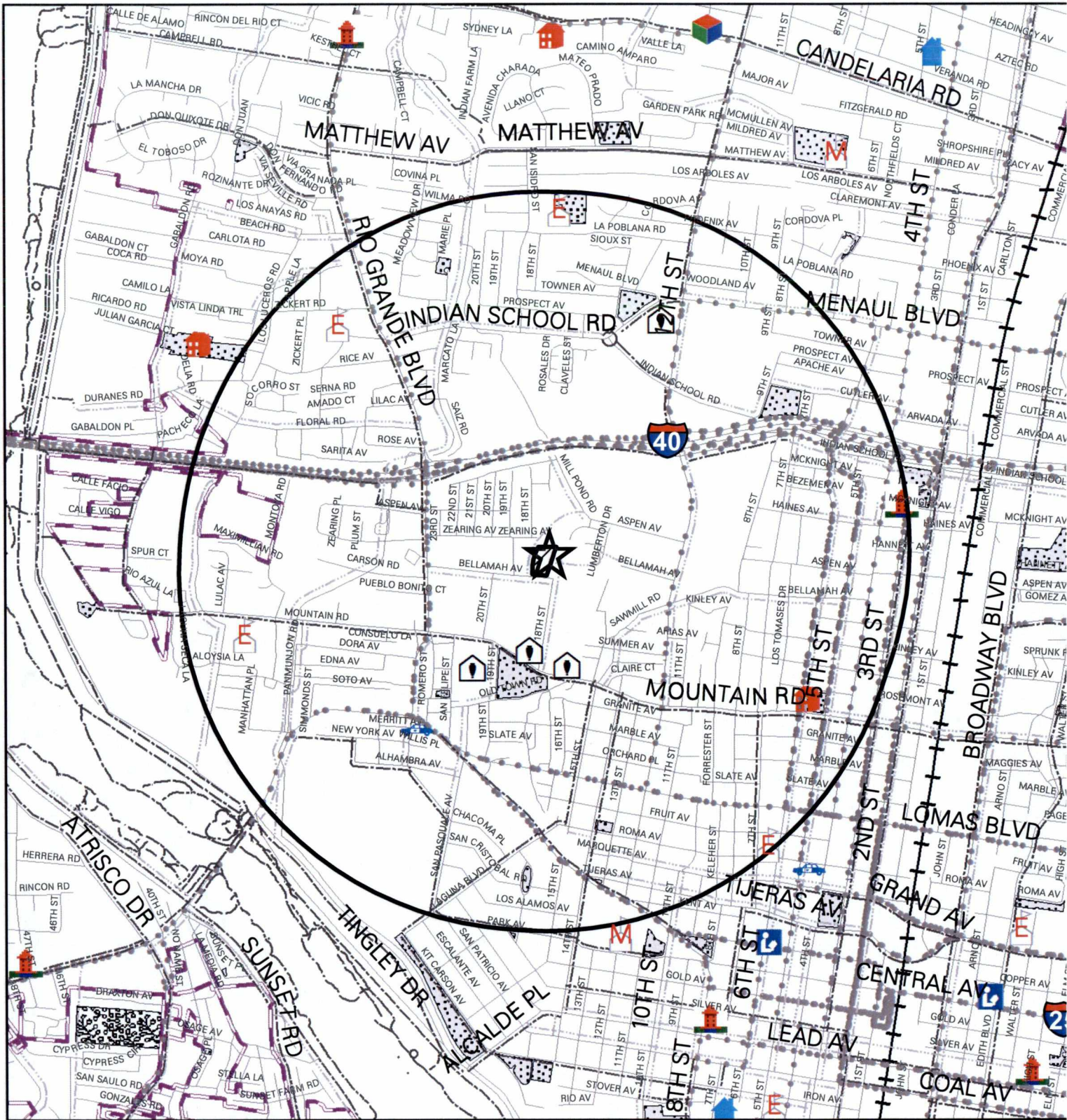
Zone Map Page: J-13

Additional Case Numbers:

16EPC-40059

16EPC-40060





Public Facilities Map with One-Mile Buffer

- |                      |                         |                          |                             |
|----------------------|-------------------------|--------------------------|-----------------------------|
| COMMUNITY CENTER     | FIRE                    | APS Schools              | Landfill Buffer (1000 feet) |
| MULTI-SERVICE CENTER | POLICE                  | Proposed Bike Facilities | Landfills designated by EHD |
| SENIOR CENTER        | SHERIFF                 | ABQ Bike Facilities      | Developed County Park       |
| LIBRARY              | SOLID WASTE             | ABQ Ride Routes          | Undeveloped County Park     |
| MUSEUM               | Albuquerque City Limits |                          | Developed City Park         |
|                      |                         |                          | Undeveloped City Park       |



## **I. AREA CHARACTERISTICS**

### ***Surrounding zoning, plan designations, and land uses:***

	<b><i>Zoning</i></b>	<b><i>Comprehensive Plan Area; Applicable Rank II &amp; III Plans</i></b>	<b><i>Land Use</i></b>
<b><i>Site</i></b>	SU-2/SU-1 for PRD SU-2/SU-1 for PRD and Microbrewery	i) Central Urban ii) Sawmill-Wells Park Sector Dev. Plan iii) Sawmill-Wells Park Metropolitan Redevelopment Area (MRA) Plan	vacant, apartments, live-work spaces, microbrewery
<b><i>North</i></b>	SU-2/S-MI (Sawmill Mixed Industrial), SU-2/SU-1 for PRD	Same as above	Vacant, homes of Sawmill Crossing
<b><i>South</i></b>	SU-2/S-MI, SU-2/S-I (Sawmill Industrial)	Same as above	industrial (lumber products)
<b><i>East</i></b>	SU-2/S-I, SU-2/S-MI, SU-2/S-R (Sawmill Residential)	Same as above	vacant, lumber yard, manufacturing/warehouse, single family residential
<b><i>West</i></b>	SU-2/S-MI	Same as above	Railroad tracks, live/work spaces (Sawmill Lofts)

## **II. INTRODUCTION**

### ***Request***

The request is for an amendments to the governing site development plan for Sawmill Village (Project #1005354, 11EPC-40045), described as Tract 2-D-1, Arbolera de Vida Unit 2B, and Lot 2, Correction Plat of Sawmill Village; Lots 3 through 10, Correction Plat of Sawmill Village; Lots 1-A, 1-B and 1-C Sawmill Village, an approximately 10-acre site known as “Sawmill Village” (the “subject site”). Proposed changes include increases in building square footages, and associated changes to parking, landscaping, and plaza areas. The scope of the proposed changes exceeds the thresholds for administrative approval (AA) found in §14-16-2-22, the SU-1 Zone.

The applicant proposes to amend the existing site development plan, which is a “hybrid” because it contains elements of a site development plan for subdivision (ex. design standards) and elements of a site development plan for building permit (ex. elevations), to accommodate new end-users for the buildings on the western portion of the subject site, Tract 2-D-1 (the “subject request”).

The buildings were previously approved with the original site development plan, 07EPC-00107, which was amended in 2011 (11EPC-40045) to become the currently governing site development plan. The buildings were not constructed. Building A-1 is now planned to include 11,000 sf of additional retail and active space (ex. for artesian) on the ground floor, and Building A-2 (the former Keshet dance space) is intended to become a State of New Mexico public charter school, with an additional 8,000 sf of area. Tract 2-D-1 would be subdivided into two tracts, since the charter school needs to have its own tract due to ownership reasons.



***Environmental Planning Commission (EPC) Role***

The EPC is the final approval body for the request, unless the EPC decision is appealed. The Sawmill Village Design Standards state that major amendments to the Sawmill Village Plan (Project #1005354, 07EPC-00107 and 11EPC-40045) go to the EPC. Also, since the subject site is zoned SU-1, it is controlled by the EPC and the proposed changes exceed the thresholds for approval as an AA.

***Context***

The subject site is in the Central Urban Area of the Comprehensive Plan and in the boundaries of the Sawmill/Wells Park Sector Development Plan (SWPSDP). The subject site is not located in a designated activity center, though it is part of the Sawmill/Wells Park Metropolitan Redevelopment Area (MRA).

The subject site is located in the Sawmill area, which is south of Interstate 40 and just west of Downtown, on Bellamah Ave. NW, between 18th St. NW and 19th St. NW. A variety of uses has developed near the subject site, including multi-family and single-family residential uses, live-work units, and a micro-brewery. The Sawmill Community Land Trust homes are to the NW. Other single-family homes are to the SE. Some vacant land remains, mostly to the northwest and south where industrial uses were. The Sawmill Lofts, live-work spaces, are directly west of the subject site. Two museums are located further south. Railroad tracks run along the subject site's western side.

***Long Range Roadway System***

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

Bellamah Avenue and 18<sup>th</sup> Street NW adjacent to the subject site are local streets.

The Long Range Roadway System designates Rio Grande Blvd. and Mountain Road (between Rio Grande and 15<sup>th</sup> Street) as Minor Arterials, with a right-of-way of 86'.

The Albuquerque Bikeway Map (2011) indicates that Rio Grande Blvd., north of Mountain Rd., has an existing bike lane. Mountain Rd. is a designated bicycle route until it intersects with 14<sup>th</sup> St., when it becomes a designated bicycle boulevard.

***Comprehensive Plan Corridor Designation***

Interstate 40 is designated as an Express Transit Corridor. The intent of this corridor type is to create a network of roadways dedicated to higher speeds with fewer travel interruptions for vehicles. This corridor is located approximately 1500 ft. north of the subject site.

Rio Grande Blvd. is designated as an Enhanced Transit Corridor. The intent of this corridor type is to design or redesign roadways to improve transit and pedestrian opportunities for residents, businesses and other users. The goal is to provide transit service competitive with the car, and develop adjacent land uses and intensities that promote transit usage.

***Trails/Bikeways***

There is an existing Bike Boulevard along Mountain Rd. south of the subject site. A Bike Lane is located along Rio Grande Blvd. west of the subject site. The I-40 Multiple Use Trail is located along I-40 adjacent to the Old Albuquerque Ditch north of the subject site.



***Transit***

ABQ Ride route #36 operates during the day, on weekdays, between the Alvarado Transportation Center and Griegos Rd., in a loop heading north on 12<sup>th</sup> Street and south on Rio Grande Blvd.

***Public Facilities/Community Services***

The subject site is in proximity to a wide range of public and community facilities. The Old Town Police Station, Fire Station 4, Wells Park Community Center and four elementary schools are within one mile. Four city or state museums and Tiguex Park are less than one half mile away. Northwest of the subject site is the Sawmill Community park of Arbolera de Vida.

***III. HISTORY***

Adjacent to the historic Old Town area, the subject site was originally used as farm and orchard lands. In 1903, the American Lumber Company operated a sawmill in the area. Between 1945 and 1969, the sawmill operations generally expanded; after this time period, nearby land was developed for other industrial uses. Throughout the 1900s, residential and industrial development occurred in close proximity.

The original Sawmill/Wells Park Sector Development Plan (SWPSDP) was adopted in 1978. The plan area is generally bounded by I-40, Mountain Rd., Rio Grande Blvd., and 5th Street. The plan zoned the subject site M-1, light manufacturing. Over two-thirds of the plan area was designated as M-1 in the 1970s, though land uses were really a mixture of businesses, homes, and farms. There was some general decline in the area and more industrial uses emerged. The subject site was formerly the Ponderosa Products industrial site, which was identified as having contaminated ground-water. It was a SARA/Title III monitored site.

The City adopted the present-day SWPSDP in January 1996, establishing SU-2 zoning for the plan area (Council Bill No. R-326). The intention of the Plan was to conserve the area's special physical characteristics; to ensure compatibility between residences and businesses; to improve the area's appearance; to improve and expand housing; and to reuse land in ways that further Plan goals. The SWPSDP also provided development guidelines and regulations that respected area history. The Plan was amended in July 2002 to allow more diversity in housing types (R-02-135, Enactment 128-2002). In 2000, the Plan was amended to modify setback, height, and lot size requirements (R-14, Enactment 24-2000). This plan zoned the subject site S-MI, Sawmill Mixed Industrial.

In 1993, the City designated the Sawmill area as blighted, and created the Sawmill Metropolitan Redevelopment Area (MRA). The Sawmill Revitalization Strategy was completed in 1994, but it was not adopted as an MRA Plan. Due to extensive groundwater and soil contamination in the area, the MRA Plan was put on hold until the City had a better understanding of how the land should be remediated. Ultimately, the area was restored to levels that would be suitable for residential use, which was the higher remediation standard.

The Sawmill/Wells Park Community Metropolitan Redevelopment Area Plan (MRA) was adopted in 2005, which led the way for redevelopment in the Sawmill area. Many planning and redevelopment efforts have been underway in the Sawmill/Wells Park area recently. Developments include live/work



spaces on the site adjacent west, the Sawmill Lofts (Project #1003311, 04ZHE-00464); the rezoning and site development plan for subdivision for land east of the subject site for market-rate residential units called Cielo at Sawmill (Project #1002981, 06EPC-01590/01591); and rezoning for senior housing approved by the EPC in January 2007 for a site to the northwest (Project #1008095).

#### *Sawmill Village Site Development Plan*

In March 2007, the EPC approved a Site Development Plan for Subdivision (Project #1005354/07EPC-00107) and an associated Sector Development Plan Map Amendment (07EPC-00109) from SU-2/S-I to SU-2/SU-1 for PRD for Lots 1-10 and from SU-2/S-MI to SU-2/SU-1 for PRD and Microbrewery for Tract 2-D-1, Arbolera de Vida, Unit 2B. The site development plan was for a mixed-income, urban village with 156 apartments, 20 condos, 8 town homes, 26 live/work spaces, a restaurant/micro-brewery, and retail uses. It also contains building elevations, which are found in site development plans for building permit. Since 2007, the Sawmill Village site development plan has been a hybrid site development plan.

On August 12, 2011 the EPC approved an amendment to the approved site development plan for the Phase II development, located west of Phase I, to include a performing arts center and auxiliary uses such as a café and other small businesses (Project #1005354, 11EPC-40045). The 2011 site development plan superseded the 2007 site development plan. Eventually, however, the end-users of the performing arts center (which would have been Building A-2) chose to locate elsewhere and the 2011 site development plan didn't come to fruition. Building A-1 was not built either. Instead, the microbrewery developed in Building B of Phase I, which is just east of Buildings A-1 and A-2.

#### *Administrative Approvals*

There have been two administrative approvals (AAs) for Sawmill Village. The June 2015 AA was for minor changes such as modification to the trash enclosure, relocating the cistern, adding more handicap parking, and adding a new monument sign location. The August 2016 AA was for minor changes to parking for Phase 1 of Sawmill Village, which consists of the combined tracts east of the current request.

#### *Most Recent Request*

On September 8, 2016, the EPC approved a sector development plan map amendment (zone change) for Lot 2 of the subject site (approximately 1.3 acres) to add microbrewery as an allowed use. The microbrewery already existed on Lot 2, though originally it was envisioned to have developed on the western portion of the subject site in Building 1. A certificate of zoning was issued.

## **IV. ALBUQUERQUE COMPREHENSIVE ZONING CODE**

### ***Definitions (§14-16-1-5)***

Site Development Plan for Building Permit: In addition to information required for Subdivision, exact structure locations, structure (including sign) elevations and dimensions, parking facilities, loading facilities, any energy conservation features of the plan (e.g., appropriate landscaping, building heights and siting for solar access, provision for non-auto transportation, or energy conservational building construction), and proposed schedule for development.



Site Development Plan for Subdivision: An accurate plan at a scale of at least 1 inch to 100 feet which covers at least one lot and specifies the site, proposed use, pedestrian and vehicular ingress and egress, any internal circulation requirements and, for each lot, maximum building height, minimum building setback, and maximum total dwelling units and/or nonresidential uses' maximum floor area ratio.

### ***Zoning***

The subject site is zoned SU-2/SU-1 for PRD and Microbrewery for Tract 2-D-1, Arbolera de Vida Unit 2B, and Lot 2, Correction Plat of Sawmill Village. Lots 3 through 10, Correction Plat of Sawmill Village; Lots 1-A, 1-B and 1-C Sawmill Village are zoned SU-2/SU-1 PRD (Planned Residential Development).

The SU-1 special use zone (Zoning Code §14-16-2-22) provides suitable sites for uses that are special, and for which the appropriateness of the use to a specific location depends upon the character of the site design. When the SU-1 zoning was requested, a site development plan was associated with it as required (see also the History section of this report).

Planned Residential Development (PRD) is a permissive use in the SU-1 zone pursuant to Subsection (B)(25), which states:

“Allowed uses include single-family houses, townhouses, apartments, associated accessory structures and home occupations (as regulated by the R-1 zone). Residence/work spaces are allowed as approved by the Planning Commission. O-1 permissive and C-1 permissive uses may be allowed, up to 25% of the total gross floor area of the development, as approved by the Planning Commission.”

The C-1 (Neighborhood Commercial) zone, Zoning Code §14-16-2-16, provides “suitable sites for office, service, institutional and limited commercial uses to satisfy the day-to-day needs of residential areas.” The O-1 (Office & Institution) zone, Zoning Code §14-16-2-15, provides “sites suitable for office, service, institutional, and dwelling uses.” The proposed new use for Building 2, a charter school, is a permissive use in the C-1 zone and in the O-1 zone. Additional retail uses and active spaces are envisioned for Building 1, which was a microbrewery in previously-approved site development plans. The microbrewery has developed on a tract to the east of Building 1.

Pursuant to the SU-1 for PRD zoning, O-1 permissive and C-1 permissive uses may be allowed, up to 25% of the total gross floor area of the development. The gross floor area of the entire development is 434,554 sf and 25% of that is 108,639 sf. The square footage totals for Building 1 and Building 2, which have changed slightly from the approved 2011 site development plan, are 19,500 sf and 44,000 sf (63,500 total sf) and therefore are under the 25% maximum allowed.

## ***V. ANALYSIS -CONFORMANCE TO ADOPTED PLANS AND POLICIES***

### ***A) Albuquerque/Bernalillo County Comprehensive Plan (Rank I)***

The subject site is located in an area that the Albuquerque/Bernalillo County Comprehensive Plan has designated Central Urban, which is a portion of the Established Urban Area. Therefore, the Central Urban Area is subject to policies of the Established Urban Area.



The goal of the Central Urban Area is “to promote the Central Urban Area as a focus for arts, cultural, and public facilities/activities while recognizing and enhancing the character of its residential neighborhoods and its importance as the historic center of the City.”

*The request generally furthers the Central Urban Goal because it would facilitate the addition of a charter school, which would be public and include some arts education. More retail and active space would also serve the neighborhoods, and the design would enforce the character of the overall development.*

The goal of the Established Urban Area is “to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing built environment.”

*The request would generally contribute to offering variety and maximum choice in the area because it would provide more active space and retail opportunities and introduce a new use to the development—a public charter school—that would provide choice in education. The design of these would be compatible with the existing overall development, which would be visually pleasing. The request generally furthers the Developing and Established Urban Area Goal.*

Applicable policies include:

*Land Use Policies-Developing & Established Urban Areas*

Policy II.B.5a: The Developing Urban and Established Urban areas as shown by the Plan map shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

*The request would facilitate a charter school moving into the development and additional opportunities for small businesses, both of which would contribute to a fuller range of land uses in the area. Policy II.B.5a-full range of urban land uses, is furthered.*

Policy II.B.5e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

*The request furthers Policy II.B.5e-programmed facilities/neighborhood integrity, because the subject site is in the Central Urban part of the City, contiguous to existing urban facilities and services. The use of these is unlikely to adversely affect neighborhood integrity.*

Policy II.B.5i: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

*The new tenants for Buildings 1 and 2 (small businesses, charter school) are employment and service uses. The uses would be located on the subject site’s western side and not near the majority of residential uses in the development, which are apartment complexes and townhomes, located east of the subject site and east of the existing microbrewery. It is possible*



*that nearby residents could experience some noise and traffic impacts when events are held at the school, though most of the parking would be located on the school's western side as to minimize noise, lighting, and traffic impacts. The request generally furthers Policy II.B.5i-employment/service use location.*

Policy II.B.5l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

*The proposed design of Buildings 1 and 2 would be consistent with the architectural style of buildings in the area, but it would not comply with the design standards because it doesn't match the Phase I buildings with respect to materials and colors as required. Elements such as decorative steel and trellises add elements of quality and innovation. The request partially furthers Policy II.B.5l-quality design/new development.*

Policy II.B.5o: Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area shall be continued and strengthened.

*The request is part of a larger project that will continue to contribute to redevelopment of an older neighborhood in the Central Urban area. The Central Urban area is part of the Established Urban area. Redevelopment efforts in this neighborhood have been ongoing for a while; such projects will strengthen them. The request furthers Policy II.B.5o-redevelopment /rehab of older neighborhoods.*

Policy II.B.5p: Cost-effective redevelopment techniques shall be developed and utilized.

*The request would result in privately funded redevelopment, which can be considered a cost-effective redevelopment technique since it does not use public funds (technique #1). The request furthers Policy II.B.5p-cost effective rehabilitation techniques.*

#### *Land Use Policies-Central Urban Area*

Policy II.B.6a: New public, cultural, and arts facilities should be located in the Central Urban area and existing facilities preserved.

*The request would result in a new public facility (a state charter school) located in the Central Urban area, and therefore furthers Policy II.B.6a- location of new facilities.*

#### *Community Resource Management-Transportation and Transit*

Goal: To develop corridors, both streets and adjacent land uses, that provide a balanced circulation system through efficient placement of employment and services, and encouragement of bicycling, walking, and use of transit/paratransit as alternatives to automobile travel, while providing sufficient roadway capacity to meet mobility and access needs.

*The subject site is accessible by Transit, but the service is limited and somewhat far away. Route 36-Rio Grande runs only on weekdays. The nearest bus stop on 12<sup>th</sup> St. is about a half-mile away, walking south on 18<sup>th</sup> St. and east on Summer Ave. Driving is the most viable option, especially for attending events on evenings and weekends. Perhaps development of the 10-acre*



*site can serve as an impetus for improved Transit service in the area in the future. The Transportation and Transit Goal is partially furthered.*

Policy II.D.4g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

*Pedestrian opportunities would be promoted on the subject site and integrated into development upon it. Buildings 1 and 2 would be connected by a plaza area and surrounded by wide sidewalks. Connections of special paving would lead to the eastern portion of the 10-acre site, and would be provided across the drive-aisle of the subject site. The request furthers Policy II.D.4g- pedestrian opportunities/non-motorized travel.*

*Community Resource Management-Economic Development*

The Goal is to “achieve steady and diversified economic development balanced with other important social, cultural and environmental goals.” Applicable policies include:

*Generally, the request would result in some economic development in a redeveloping area. The addition of a charter school and additional small business opportunities to the existing mixed-use project can be considered diverse economic development that would be balanced with social and cultural goals. The request generally furthers the Economic Development Goal.*

***B) Sawmill/Wells Park Sector Development Plan (Rank III)***

The Sawmill/Wells Park Sector Development Plan (SWPSDP) was first adopted in 1978 (the 1978 Plan) and then was revised and adopted in 1996 (Enactment No.128-2002). The SWPSDP generally encompasses properties between Interstate 40 to the north and Mountain Rd. to the south, Rio Grande Blvd. to the west, and properties east of 5<sup>th</sup> St. on the east. Specific boundaries are shown on p. 2. The subject site is located approximately in the middle of the Plan area.

**ACTION PLANS:**

The intent of the SWPSDP is to address the area’s most critical issues, foster positive change and reinforce community stability, vitality and character (p. 1). The SWPSDP, which sets forth public project design policies, land use goals and zoning, contains the following five Action Plan sections:

1. Area Character and History Conservation Action Plan
2. Housing Development and Improvement Action Plan
3. Environmental Protection Action Plan
4. Economic Development Action Plan (re: industrial/commercial strategies) contained in the “Sawmill Revitalization Strategy (SRS)” (Appendix C of the Plan)
5. Public Project Action Plan (re: infrastructure)

Each Action Plan contains specific projects and implementation strategies to address the issues identified therein and fulfill the intent of the SWPSDP. The following elements of the Action Plans apply to the request:



4. *The Economic Development Action Plan (EDAP) is based on the Sawmill Revitalization Strategy (SRS)(see Appendix C of the Plan), which focuses on industrial and commercial revitalization and links redevelopment to job creation for area residents. The findings of the SRS, which are relevant to the entire area, are: 1) healthy growth of business will provide employment opportunities for residents, and 2) enlarged, strengthened and protected residential neighborhoods will provide a stable environment to benefit business.*

*Objective 1 is relevant to the request. The charter school and active spaces (for artisans, etc.) may result in job opportunities for area residents. The existing residential uses on the western portion of the development, apartments and townhomes, would be protected and continue to provide a stable environment to benefit business. The request generally fulfills the intent of the EDAP.*

5. *The Public Project Action Plan (PPAP) addresses infrastructure improvements through state and local funding. Part of Objective 4 is relevant to the request: “to link isolated parts of the Plan area through redevelopment, by improving traffic operations while protecting residential neighborhoods and by providing a park and trails for recreation.”*

*The subject site is located in a designated redevelopment area. The request would contribute further to an existing focal point in approximately the center of the Plan area, thereby strengthening linkages between this relatively isolated part of the Plan area to other parts of the Plan area. Improvements to traffic operations, a park and trails, however, are not included. Therefore, the request partially fulfills the intent of the PPAP.*

#### GENERAL SU-2 REGULATIONS:

The Plan area is designated SU-2 Special Neighborhood Zone. The General SU-2 Regulations (see p. 83), which apply to all properties in the SWPSDP area, were established to: conserve and build on the area’s distinctive historic and physical characteristics, increase compatibility among housing, institutions, commercial and industrial land and improve the environment adjacent to the public right-of-way. The following apply to the subject request:

#### 1. Regulation compliance, compliance periods and process requirements

1.g. The Environmental Planning Commission (EPC) shall consider all General SU-2 Regulations when reviewing SU-1 zoning applications.

*The SU-2 regulations are being considered in this process.*

#### 4. Nonresidential Building Design

4.a. Front doors shall face the public right of way.

*The doors of the proposed buildings face public space (the plaza areas) on the western and eastern elevations rather than the street right of way, but eyes will be on the public space as intended by the regulations.*



4.d. Exterior mechanical and electrical equipment shall be screened from public view unless incorporated into public building design for educational purposes.

*No mechanical equipment is shown on the elevations, though a note can be added to the site development plan.*

4.f. Reflective glass is not permitted.

*The Sawmill Village design standards prohibit reflective glass. A note can be added to the site plan.*

5. Enclosure and Screening

5.e. Trash collection areas shall be screened as regulated in the Solid Waste Ordinance.

*The refuse enclosure (see detail) is required to comply with the Solid Waste Ordinance.*

5.i. Parking lots and required off-street parking for more than three vehicles shall be screened from the public street right-of-way with landscaping or a 3 foot high solid fence or wall.

*Little parking faces the public street ROW. It's found near the drive-aisle entrances, and is separated by landscaping as required.*

6. Traffic, Parking and Circulation

6.a. No more than 50% of each front, side, or rear yard set-back area contiguous to a public right-of-way shall be used for parking and/or driveway.

*The side setback area of Building A-1 faces Bellamah Ave., but most of the area is used as plaza area, sidewalks, and landscaping with less than 50% left for drive-aisles and parking so the request complies.*

6.b. The parking area, which includes any required walls, fences and landscaping, and/or driveway shall abut no more than 50% of the property line contiguous to the public street right-of-way.

*Counting landscaping and driveways, the parking area contiguous to Bellamah Ave. does not exceed 50% of the property line contiguous to the street.*

7. Pedestrian Access

Private walkways for apartment developments and parts of nonresidential sites used by customers shall be provided, shall be accessible to people with disabilities, and shall connect to sidewalks in the public right-of-way and to public recreational trails.

*Customers have numerous ways to circulate in between the buildings and connect to sidewalks at the street. The connections will be required to be ADA compliant.*

**VI. SITE DEVELOPMENT PLAN FOR SUBDIVISION AMENDMENT & DESIGN STANDARDS**

The existing Sawmill Village site development plan for subdivision (Project #1005354, 07EPC-10107 as subsequently amended) covers the larger, approximately 10-acre subject site. The proposed site development plan for subdivision amendment affects mostly Phase II of the larger site. The proposed



changes to Buildings A-1 and A-2 on Tract 2-D-1 include changes to parking, landscaping, and plaza areas that affect the overall site development plan for subdivision. See Section VII of this report for specifics of the proposed changes.

Also, since the state charter school would need its own tract for ownership purposes, the applicant desires to subdivide Tract 2-D-1 into separate tracts—one for Building A-1 and another for Building A-2. This can be done at the Development Review Board (DRB).

### ***Design Standards***

The current request does not propose any changes to the Sawmill Village Design Standards, but is required to comply with them. Staff has reviewed the request against the design standards and finds that most standards are complied with, except for the following instances where a revision and/or clarification is needed:

#### Exterior Wall Materials & Colors

The design standards state that “Phase II buildings will follow the same palette of materials and colors as Phase I”. The proposed materials for Buildings A-1 and A-2 (Phase II) are stucco, cement board, and metal.

The elevations of the Phase I buildings, from the original 2007 site development plan, call out stucco and metal—but not cement board. Therefore, Staff suggests that cement board in the current submittal be replaced by either stucco or metal, or some combination thereof, to comply with the design standards.

Also, the proposed colors for the Phase II buildings are limited to blues and greys. The light grey is found on the original building elevations as metal (not cement board), but Building D of Phase II, which is adjacent to the Phase I proposed development, uses stucco colors such as raw sienna, burnt ochre, and terra cotta (warm colors, mustard gold and oranges- see attached photos).

Staff suggests incorporating these colors into the elevations for Buildings A-1 and A-2 to be consistent with the color palette for the Phase I development, as required by the design standards. The intention of the design standards is that Sawmill Village be architecturally cohesive; the materials and colors proposed for Buildings A-1 and A-2 would make Sawmill Village Phase II look like a separate development from Sawmill Village Phase I.

#### Roof Materials & Colors

Roofs are required to be a low heat absorbing, single-ply material in a light color. A note needs to be added to the elevations.

#### Site Lighting

The light pole details need to mention the color and materials.

#### Signage

The sign detail doesn’t provide information on lighting and material. Note that illuminated plastic panel signs are not allowed.



#### Screen Walls & Fences

The design standards require that fencing along the subject site's western boundary is similar to the fencing at the adjacent Sawmill Lofts (to the west), meaning that it is a 6 foot high, metal picket fence painted a neutral color. A fence detail, indicating height, color, and materials, is needed to evaluate compliance.

The fence near the detention pond is required to be a steel, open rail fence. A fence detail is needed to ensure that this fencing meets the design standards.

#### Trails & Sidewalks

Clarification is needed regarding the pathway that runs south-north along the subject site's eastern side. The keyed notes state that this is a bicycle path, provided in accordance with MRCOG's 2040 Long-Range Bikeways Systems map. The design standards state that this path is supposed to provide both on and off site connectivity to recreation and facilities.

#### Public Open Space

The design standards state that plazas are important and designed to provide seating and shade. However, no seating is provided in the large plaza area east of Building A1 but seating is needed here.

### ***VII. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AMENDMENT***

The following is a description of the proposed changes to the governing 2011 site development plan, followed by a discussion of the differences between the proposed site development plan for building permit and the approved site development plan.

#### ***Summary of Proposed Changes***

1. Building A-1, originally intended to be a microbrewery/restaurant, was listed as 8,500 sf and is now proposed to be 19,500 sf. The microbrewery/restaurant developed on another tract. Additional retail space and active space (defined as "live/work" space) would be added to Building A-1, which would now extend westward and front Bellamah Ave. for a greater distance than before.
2. Building A-2, the former performing arts center and dance space, was approved as 36,000 sf but is now proposed to be 44,000 sf and become a charter school. The additional square footage was added to the building's southern elevation, thereby reducing the plaza space that was originally approved.
3. The five parking spaces that faced Bellamah Ave. were removed to allow expansion of Building A1. Three spaces were re-instated and are now proposed to face the building. The landscaping buffers in this immediate area are proposed to reconfigure to accommodate changes to the building and parking layouts.
4. The totals for required parking for Building A-1 and Building A-2 would change based on the proposed uses. 84 fewer spaces would be required. Additional discussion of parking is provided in the following section of this report, along with a summary table.



5. Changes to the approved 2011 landscaping plan for Phase II include two fewer trees along the site's western side, changes to the plant palette, and reconfiguration of the planters in between Building A-1 and A-2.

### ***Proposed Site Development Plan Amendment***

#### ***Site Plan Layout/Configuration***

There are a few differences between the originally approved site layout for Buildings A-1 and A-2 and the proposed site layout. Building A-1 is proposed to expand by 11,000 sf; the expansion area is to the west along Bellamah Ave., which makes the building "L shaped" where it was "I-shaped" before. Building A-2 is in the same location. The expansion area is on the building's southern elevation, which moved into the plaza area between buildings.

#### ***Vehicular Access & Circulation***

Access to the site is from Bellamah Ave., via two vehicular entrances that remain in the locations as approved in 2007 and 2011. The parking areas are separated; there is no west-east vehicular access between buildings.

#### ***Traffic Impact Study (TIS)***

The *Sawmill Mixed-Use Development TIS* was completed in February 2007 in association with the 2007 proposal (Project #1005354, 07EPC-10107/10109). An updated Trip Generation Comparison was completed in June 2011. Neither a Trip Generation Comparison nor a Trip Generation Update was required with the current request.

#### ***Parking***

The parking lots are similar to those approved in 2011, with some minor differences proposed: The five parking spaces that faced Bellamah Ave. were removed to allow expansion of Building A1. Three spaces were reinstated and are now proposed to face the building.

Changes to the approved parking calculations are based on the proposed changes in building square footage and the new uses. The table shows that there would be 84 fewer parking spaces required than before, based on calculating parking using the Zoning Code.

Sawmill Village Required Parking			
	2011	2016	Change
Building A-1	43	41	-2
Building A-2	142	60	-82
Totals	185	101	-84

The parking table for the overall site has been updated correspondingly. Regarding provided parking, Buildings A-1 and A-2 were listed as having 117 spaces. The proposed, updated parking table now indicates that 87 spaces are provided. Verification of parking spaces counts is needed, because it appears to Staff that the parking layout is virtually identical to the previously approved parking layout.



Regarding handicap spaces, the table lists 16 for the overall development. Staff counts 17. Two HC spaces are proposed in front of the new entrance to Building A-1 (one HC space was removed from Building A-2). The table total for motorcycle spaces (10) remains the same as in the 2011, but Staff can locate only 4 MC spaces. MC spaces need to be labeled and shown.

Note that the larger subject site is zoned SU-1 and, pursuant to §14-16-2-22(C) (Special Use Zone), “off-street parking shall be provided as required by the Planning Commission.” Therefore, the 2007 and 2011 site development plans were approved with parking as indicated by the site development plan and not based on Zoning Code requirements (though they were used as guidance for parking calculations).

#### ***Pedestrian & Bicycle Access & Circulation, Transit Access***

Walkways intersect Tract A-2-A in four places, providing pedestrian access to the Phase II site that is the same as it was previously. Bicycle access is via the vehicular entrances, or possibly the pedestrian entrances. There is a future trail connection on the subject site’s eastern side. Transit does not directly serve the subject site. Bus riders would have to walk from 12<sup>th</sup> St., through the neighborhood, or from Rio Grande Blvd.

Pedestrian circulation around Buildings A-1 and A-2 is generally good, with opportunities to walk between Phase I and Phase II. However, at one point, the landscaping beds on the south side of Building A-2 and the north side of Building A-1 are separated by only 3 feet. This could impede pedestrian circulation through the Phase II site, especially when the outdoor space is used for gathering functions as intended (see also the Landscape section of this Staff report).

#### ***Walls/Fences***

The 3.5 foot screen wall, which faced Bellamah and screened 5 parking spaces, is no longer proposed. A 6 foot fence is proposed along the western side of the Phase II development. A fence detail, specifying material and colors, is needed to ensure compliance with the design standards.

#### ***Lighting & Security***

The site layout (parking lot and buildings) is very similar to that approved in 2011, so no changes to the locations of parking lot light poles are proposed. The light pole details need to indicate the materials and colors proposed.

#### ***Landscaping***

A landscaping plan for the Sawmill Village site was approved in 2011. The current amendment includes changes to the Phase I portion of the landscaping plan. Two fewer trees would be located along the site’s eastern side. Staff recommends that one of the trees (the northernmost one) remain as in the approved landscaping plan—especially since a trail is intended to run along this western edge of the site. The Solid Waste Management Division does not want a tree near the dumpster, so Staff is recommending that the other tree originally approved not be there (which the current submittal reflects).

Red Oak trees were proposed along Bellamah Ave. Now they are shown as Vitex (Chaste Tree). Staff points out that Vitex is a multi-trunk ornamental shrub not suitable for a street tree because it’s too



short (often used beneath power lines), and because the multi trunks do not provide the type of shading needed for pedestrians. Staff suggests going back to Red Oak as originally approved, or using Chitalpa, which is now proposed on the plant palette.

Another issue is the reconfiguration of the landscaping beds between buildings A-1 and A-2. At one point, the planters are so close that only 3 feet is available between them. This is an impediment to pedestrian circulation. It would be preferable if the beds attached to Building A-2 were not angular, and the beds at the NW corner of Building A-1 not be so large and circular. The landscaping requirement is being met sufficiently, so the reduction in landscaping bed space would not create non-compliance with landscaping requirements.

#### ***Public Outdoor Space***

The size of the plaza area between Building A-1 and A-2 was reduced due to the expansion of Building A-2. Seat walls are provided. The plaza area on the eastern side remains the same and there is a seat wall near the SE corner of Building A-2. Seating opportunities are lacking near the SE corner of Phase II/back of Building A-1 and should be added, especially since these would be close to Bellamah Ave. and hopefully someday Transit will serve the development.

#### ***Grading & Drainage Plan***

A Drainage Management Plan for the approximately 10-acre site was approved in 2011. The proposed Grading and Drainage Plan is just for the site's western portion, Phase II. The Phase II site is relatively flat and little grading would occur. The pond at the NW corner has been enlarged from the previously approved grading and drainage plan. Curb notches should be added to landscaping areas.

#### ***Utility Plan***

A utility plan for the approximately 10-acre site was approved in 2011. The proposed utility plan is for Phase II only. It is mostly consistent with the previously approved plan, except for the point of utility connection for Building A-1 has changed based on its new configuration.

#### ***Architecture***

Building A-1 (the artesian spaces) is proposed to be 40 feet tall and 19,500 sf and Building A-2 (the charter school) is proposed to be 38 feet tall and 44,000 sf. The square footages and dimensions need to be listed.

The design standards require that the Phase II buildings match the Phase I buildings in terms of materials and colors. Cement board is not used in Phase I and needs to be replaced by metal (see attachment, photo of Building B, which is adjacent west). Sky Blue is not a color used in Phase I. Any type of gold, orange, rust, terracotta color would be consistent with Phase I colors (see attachment, photo of Building B and Building D).

#### ***Signage***

A monument sign is proposed near the location of the monument sign approved in 2011. The new monument sign would be on a 4.5 foot CMU wall, and have black aluminum letter and be approximately 17 sf, as originally approved. Lighting (if any) is unspecified.



Two building mounted signs are proposed, both on the south elevation of Building A-2, the charter school. The signs would be the school's logo. Both need to be boxed with a dashed line and dimensioned, with square footage totals listed.

## ***VIII. COMMENTS***

### ***Concerns of Reviewing Agencies***

City Departments and other agencies reviewed this application from 10/3/2016 to 10/19/2016. Few agency comments were received. Staff from Albuquerque Public Schools (APS) point out that the affected elementary, middle, and high schools have capacity available. PNM offered their standard comments regarding new service and screening ground-mounted equipment. Solid Waste Management Staff request that the refuse enclosure be moved about 10 feet north of its proposed location. Agency comments begin on p. 23.

### ***Neighborhood Concerns***

The affected neighborhood organization is the Sawmill Area Neighborhood Association (SANA), which was notified as required. Property owners within 100 feet of the subject site were also notified as required. A facilitated meeting was neither recommended nor held.

Staff received a call from the agent of a nearby property owner, who wanted to know about the request. No correspondence has been received. Staff is not aware of any opposition as of this writing.

## ***IX. CONCLUSION***

This request is for amendments to the governing site development plan for Sawmill Village, an approximately 10 acre site that is partially developed. The amendments proposes changes to Phase II of the development, needed due to changes in the end-users for Building A-1 and Building A-2, and consists of revisions to building square footages, and associated changes to parking, landscaping, and plaza areas. The scope of the proposed changes exceeds the thresholds for administrative approval (AA).

The subject site, located in the Sawmill area where 18<sup>th</sup> St. dead-ends into Bellamah Avenue, is in the Central Urban area and a designated Metropolitan Redevelopment Area. The Sawmill/Wells Park Sector Development Plan (SWPSDP) and the existing Sawmill Village design standards apply. Staff finds that the request mostly furthers applicable Goals and policies, but that there is some non-compliance with the design standards.

The Sawmill Area Neighborhood Association (SANA) was notified as required. A facilitated meeting was neither recommended nor held. Staff is not aware of any opposition.

Staff recommends approval of the request subject to conditions needed to create compliance with the design standards and to provide clarification.



***FINDINGS -16EPC-40060, November 10, 2016-Site Development Plan for Subdivision Amendment***

1. This request is for an amendment to a site development plan subdivision for Tract 2-D-1, Arbolera de Vida Unit 2B, an approximately 2.6 acre portion of the larger, approximately 10 acre site known as Sawmill Village, which is located on Bellamah Avenue NW, between 18th Street NW and 19th Street NW (the "subject site").
2. The applicant proposes to subdivide Tract A-2-A to create two tracts, one for Building A-1 (the artesian apartments) and Building A-2 (the charter school). For ownership reasons, the school desires to have its own tract.
3. A request for amendments to the governing site development plan for building permit (Project #1005354, 11EPC-40045 and as amended administratively twice) to accommodate new end-users for the buildings on Tract 2-D-1, accompanies this request.
4. The scope of the proposed changes exceed the thresholds for administrative approval (AA) found in §14-16-2-22, the SU-1 Zone. That is why the request is before the Environmental Planning Commission (EPC).
5. The subject site is zoned SU-2/SU-1 for PRD and Microbrewery for Tract 2-D-1, Arbolera de Vida Unit 2B, and Lot 2, Correction Plat of Sawmill Village. Lots 3 through 10, Correction Plat of Sawmill Village and Lots 1-A, 1-B and 1-C Sawmill Village, are zoned SU-2/SU-1 PRD (Planned Residential Development).
6. The Comprehensive Plan, the Sawmill/Wells Park Sector Development Plan (SWPSDP), the Sawmill/Wells Park Metropolitan Redevelopment Plan (SWPMRP) and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The EPC is the final approval body for the request, unless the EPC decision is appealed. The Sawmill Village Design Standards state that major amendments to the Sawmill Village Plan (Project #1005354, 07EPC-00107 and 11EPC-40045) go to the EPC. Also, since the subject site is zoned SU-1, it is controlled by the EPC and the proposed changes exceed the thresholds for approval as an AA.
8. The subject site lies within the boundaries of the Central Urban Area of the Comprehensive Plan and the Sawmill/Wells Park Sector Development Plan (SWPSDP).
9. The request furthers the following, applicable Goals of the Comprehensive Plan:
  - A. Central Urban Goal. The request would facilitate the addition of a charter school, which would be public and include some arts education. More retail and active space would also serve the neighborhoods, and the design would enforce the character of the overall development.



- B. Established Urban Goal. The request would generally contribute to offering variety and maximum choice in the area because it would provide more active space and retail opportunities and introduce a new use to the development—a public charter school—that would provide choice in education. The design of these would be compatible with the existing overall development, which would be visually pleasing.
  - C. Economic Development Goal. Generally, the request would result in some economic development in a redeveloping area. The addition of a charter school and additional small business opportunities to the existing mixed-use project can be considered diverse economic development that would be balanced with social and cultural goals.
10. The request furthers the following, applicable land use policies in the Comprehensive Plan:
- A. Policy II.B.5a-full range of urban land uses. The request would facilitate a charter school moving into the development and additional opportunities for small businesses, both of which would contribute to a fuller range of land uses in the area.
  - B. Policy II.B.5o-redevelopment /rehab of older neighborhoods. The request is part of a larger project that will continue to contribute to redevelopment of an older neighborhood in the Central Urban area. The Central Urban area is part of the Established Urban area. Redevelopment efforts in this neighborhood have been ongoing for a while; such projects will strengthen them.
  - C. Policy II.B.5p- cost effective rehabilitation techniques. The request would result in privately funded redevelopment, which can be considered a cost-effective redevelopment technique since it does not use public funds (technique #1).
  - D. Policy II.B.6a- location of new facilities (Central Urban Area). The request would result in a new public facility (a state charter school) located in the Central Urban Area.
11. The request fulfills the intent of the Economic Development Action Plan (EDAP), based on the Sawmill Revitalization Strategy (SRS)-Objective 1, of the Sawmill/Wells Park Sector Development Plan (SWPSDP). The charter school and active spaces (for artesian, etc.) may result in job opportunities for area residents. The existing residential uses on the western portion of the development, apartments and townhomes, would be protected and continue to provide a stable environment to benefit business.
12. The Sawmill Village design standards will need to be updated to reflect the new end-users for Building A-1 and Building A-2.
13. The affected neighborhood organization is the Sawmill Area Neighborhood Association (SANA), which was notified as required. Property owners within 100 feet of the subject site were also notified as required. A facilitated meeting was neither recommended nor held. Staff received a call



from the agent of a nearby property owner, who wanted to know about the request. No correspondence has been received. Staff is not aware of any opposition as of this writing.

***RECOMMENDATION - 16EPC-40060, November 10, 2016***

**APPROVAL of 16EPC-40060, a Site Development Plan for Subdivision Amendment for Tract 2-D-1, Arbolera de Vida Unit 2B, and Lot 2, Correction Plat of Sawmill Village; Lots 3 through 10, Correction Plat of Sawmill Village; Lots 1-A, 1-B and 1-C Sawmill Village, zoned SU-2/SU-1 for PRD (Planned Residential Development) and SU-2/SU-1 for PRD and Microbrewery, respectively, located on Bellamah Ave. NW, between 18th St. NW and 19th St. NW, based on the preceding Findings and subject to the following Conditions of Approval.**

***CONDITIONS OF APPROVAL -16EPC-40060, November 10, 2016- Site Development Plan for Subdivision Amendment***

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
  2. Prior to final DRB sign off, the applicant shall meet with the Staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.
  3. The request shall comply with the General SU-2 Regulations in the Sawmill/Wells Park Sector Development Plan and the Sawmill Village design standards (Project #1005354, 11EPC-40045).
  4. Sheet SDP 3 shall be updated to remove the references to the performing arts center and microbrewery and replace them with references to the artesian apartments and charter school.
  5. Conditions from Transportation Development:
    - A. Infrastructure and/or ROW dedications may be required at DRB.
    - B. All work within the public ROW must be constructed under a COA Work Order.
-



***FINDINGS -16EPC-40059, November 10, 2016-Site Development Plan for Building Permit Amendment***

1. This request is for an amendment to a site development plan for building permit for Tract 2-D-1, Arbolera de Vida Unit 2B, an approximately 2.6 acre portion of the larger, approximately 10 acre site known as Sawmill Village, which is located on Bellamah Avenue NW, between 18th Street NW and 19th Street NW (the "subject site").
2. The applicant proposes to amend the governing site development plan for building permit (Project #1005354, 11EPC-40045 and as amended administratively twice) to accommodate new end-users for the buildings on Tract 2-D-1, the western portion of the subject site (the "subject request"). Building A-1 is planned to include 11,000 sf of additional retail and active space. Building A-2 is intended to become a State of New Mexico public charter school, with an additional 8,000 sf. Proposed changes include increases in building square footages, and associated changes to parking, landscaping, and plaza areas.
3. A request for amendments to the governing site development plan for building permit (Project #1005354, 11EPC-40045 and as amended administratively twice) to accommodate new end-users for the buildings on Tract 2-D-1, accompanies this request.
4. The scope of the proposed changes exceed the thresholds for administrative approval (AA) found in §14-16-2-22, the SU-1 Zone. That is why the request is before the Environmental Planning Commission (EPC).
5. The subject site is zoned SU-2/SU-1 for PRD and Microbrewery for Tract 2-D-1, Arbolera de Vida Unit 2B, and Lot 2, Correction Plat of Sawmill Village. Lots 3 through 10, Correction Plat of Sawmill Village and Lots 1-A, 1-B and 1-C Sawmill Village, are zoned SU-2/SU-1 PRD (Planned Residential Development).
6. Pursuant to the SU-1 for PRD zone [§14-16-2-22(B)(25)], O-1 permissive and C-1 permissive uses may comprise up to 25% of the total gross floor area of the development. The gross floor area of the entire development is 434,554 sf and 25% of that is 108,639 sf. The square footage totals for Building 1 and Building 2, which have changed slightly from the approved 2011 site development plan, are 19,500 sf and 44,000 sf (63,500 total sf) and therefore are under the 25% maximum allowed.
7. The Comprehensive Plan, the Sawmill/Wells Park Sector Development Plan (SWPSDP), the Sawmill/Wells Park Metropolitan Redevelopment Plan (SWPMRP) and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
8. The EPC is the final approval body for the request, unless the EPC decision is appealed. The Sawmill Village Design Standards state that major amendments to the Sawmill Village Plan



(Project #1005354, 07EPC-00107 and 11EPC-40045) go to the EPC. Also, since the subject site is zoned SU-1, it is controlled by the EPC and the proposed changes exceed the thresholds for approval as an AA.

9. The subject site lies within the boundaries of the Central Urban Area of the Comprehensive Plan and the Sawmill/Wells Park Sector Development Plan (SWPSDP). The request must comply with the General SU-2 Regulations of the SWPSDP and the design standards in the Sawmill Village site development plan for subdivision.
10. The request furthers the following, applicable Goals of the Comprehensive Plan:
  - A. Central Urban Goal. The request would facilitate the addition of a charter school, which would be public and include some arts education. More retail and active space would also serve the neighborhoods, and the design would enforce the character of the overall development.
  - B. Established Urban Goal. The request would generally contribute to offering variety and maximum choice in the area because it would provide more active space and retail opportunities and introduce a new use to the development—a public charter school—that would provide choice in education. The design of these would be compatible with the existing overall development, which would be visually pleasing.
  - C. Economic Development Goal. Generally, the request would result in some economic development in a redeveloping area. The addition of a charter school and additional small business opportunities to the existing mixed-use project can be considered diverse economic development that would be balanced with social and cultural goals.
11. The request furthers the following, applicable land use policies in the Comprehensive Plan:
  - A. Policy II.B.5a-full range of urban land uses. The request would facilitate a charter school moving into the development and additional opportunities for small businesses, both of which would contribute to a fuller range of land uses in the area.
  - B. Policy II.B.5e-programmed facilities/neighborhood integrity. The subject site is in the Central Urban part of the City, contiguous to existing urban facilities and services. The use of these is unlikely to adversely affect neighborhood integrity.
  - C. Policy II.B.5i-employment/service use location. The new tenants for Buildings 1 and 2 (small businesses, charter school) are employment and service uses. The uses would be located on the subject site's western side and not near the majority of residential uses in the development, which are apartment complexes and townhomes, located east of the subject site and east of the existing microbrewery. It is possible that nearby residents could experience some noise and traffic impacts when events are held at the school, though most of the parking would be located on the school's western side as to minimize noise, lighting, and traffic impacts.



- D. Policy II.B.5o-redevelopment /rehab of older neighborhoods. The request is part of a larger project that will continue to contribute to redevelopment of an older neighborhood in the Central Urban area. The Central Urban area is part of the Established Urban area. Redevelopment efforts in this neighborhood have been ongoing for a while; such projects will strengthen them.
  - E. Policy II.B.5p- cost effective rehabilitation techniques. The request would result in privately funded redevelopment, which can be considered a cost-effective redevelopment technique since it does not use public funds (technique #1).
12. The request furthers the following, applicable Comprehensive Plan policies:
- A. Policy II.B.6a- location of new facilities (Central Urban Area). The request would result in a new public facility (a state charter school) located in the Central Urban Area.
  - B. Policy II.D.4g- pedestrian opportunities/non-motorized travel (Transportation and Transit). Pedestrian opportunities would be promoted on the subject site and integrated into development upon it. Buildings 1 and 2 would be connected by a plaza area and surrounded by wide sidewalks. Connections of special paving would lead to the eastern portion of the 10-acre site, and would be provided across the drive-aisle of the subject site.
13. The request fulfills and partially fulfills, respectively, the intent of the following Action Plans in the Sawmill/Wells Park Sector Development Plan (SWPSDP):
- A. Economic Development Action Plan (EDAP), based on the Sawmill Revitalization Strategy (SRS)-Objective 1. The charter school and active spaces (for artesian, etc.). may result in job opportunities for area residents. The existing residential uses on the western portion of the development, apartments and townhomes, would be protected and continue to provide a stable environment to benefit business.
  - B. Public Project Action Plan (PPAP)- The request would contribute further to an existing focal point in approximately the center of the Plan area, thereby strengthening linkages between this relatively isolated part of the Plan area to other parts of the Plan area. Improvements to traffic operations, a park and trails, however, are not included.
14. Neither a Trip Generation Comparison nor a Traffic Impact Study (TIS) update was required with the current request. The Sawmill Mixed-Use Development Traffic Impact Study (TIS) was completed in February 2007 (Project #1005354, 07EPC-10107/10109).
15. The Sawmill Village design standards apply. Though the request complies with most standards, there are a few instances of non-compliance (Exterior Wall Materials & Colors). In other instances, information is insufficient (ex. Trails & Sidewalks, Screen Walls & Fences) to evaluate compliance. These can be remedied through conditions of approval.



16. The affected neighborhood organization is the Sawmill Area Neighborhood Association (SANA), which was notified as required. Property owners within 100 feet of the subject site were also notified as required. A facilitated meeting was neither recommended nor held. Staff received a call from the agent of a nearby property owner, who wanted to know about the request. No correspondence has been received. Staff is not aware of any opposition as of this writing.

***RECOMMENDATION - 16EPC-40059, November 10, 2016***

**APPROVAL of 16EPC-40059, a Site Development Plan for Building Permit Amendment for Tract 2-D-1, Arbolera de Vida Unit 2B, and Lot 2, Correction Plat of Sawmill Village; Lots 3 through 10, Correction Plat of Sawmill Village; Lots 1-A, 1-B and 1-C Sawmill Village, zoned SU-2/SU-1 for PRD (Planned Residential Development) and SU-2/SU-1 for PRD and Microbrewery, respectively, located on Bellamah Ave. NW, between 18th St. NW and 19th St. NW, based on the preceding Findings and subject to the following Conditions of Approval.**

***CONDITIONS OF APPROVAL -16EPC-40059, November 10, 2016- Site Development Plan for Building Permit Amendment***

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final DRB sign off, the applicant shall meet with the Staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.
3. The request shall comply with the General SU-2 Regulations in the Sawmill/Wells Park Sector Development Plan (SWPSDP) and the Sawmill Village design standards (Project #1005354, 11EPC-40045).
4. SWPSDP General SU-2 Regulations:
  - A. A note shall be added to the elevations to indicate that mechanical and electrical equipment shall be screened from public view (Regulation 4.d).
  - B. A note shall be added to the elevations to indicate that reflective glass is prohibited (Regulation 4.f).



5. Parking:

- A. The parking space counts for the approximately 10-acre site shall be verified and the Parking Table(s) shall be updated correspondingly.
- B. Parking space totals shall be indicated by summary numbers (Sheet SDP 1.1).
- C. The location of the motorcycle spaces shall be shown (Sheet SDP 1.0).

6. Landscaping:

- A. One of the two additional trees (the northernmost one) approved with the 2011 landscaping plan, along the western boundary of Phase II, shall be included with the current landscaping plan.
- B. The trees along Bellamah Ave. shall be of a tall, canopy-forming variety (such as the Red Oak approved in 2011 or a canopy-forming tree on the current landscape plan legend).

7. Walls & Fences (Sawmill Village Design Standards):

- A. Fencing along the subject site's western boundary shall be like the fencing at the adjacent Sawmill Lofts (Screen Walls and Fences section).
- B. A detail of fencing along the subject site's western boundary, indicating height, color, and materials, shall be provided (Screen Walls and Fences section).
- C. A detail of the fence near the detention pond shall be provided (Screen Walls and Fences section).

8. Lighting & Signage (Sawmill Village Design Standards):

- A. The light pole details shall indicate colors and materials (Site Lighting section).
- B. The monument sign detail shall specify lighting, if any (Signage section).
- C. The dimensions and square footages of the building-mounted signs shall be indicated.

9. Architecture (Sawmill Village Design Standards):

- A. Cement board shall be replaced by either stucco or metal, or some combination thereof, to be consistent with the materials used in Sawmill Village (Exterior Wall Materials & Colors section).
- B. The colors used in the Phase I buildings shall be incorporated into the elevations for Buildings A-1 and A-2 to be consistent with the colors used in Sawmill Village (Exterior Wall Materials & Colors section).
- C. A note needs to be added to the elevations to indicate that roofs will be a low heat absorbing, single-ply material in a light color (Roof Materials & Colors section).



D. The buildings shall be dimensioned and their square footage totals listed (Sheet SDP 1.0).

10. Pedestrian Access & Circulation:

- A. Clarify if the path that runs south-north along the subject site's eastern side will provide both on and off-site connectivity to recreation and facilities (Trails & Sidewalks section- Design Standards).
- B. Seating shall be provided in the large plaza area east of Building A-1 (Public Open Space section- Design Standards).
- C. The landscaping beds at the northwest corner of Building A-1 shall be made smaller and non-circular to facilitate pedestrian circulation through the Phase II site.

11. Condition from the Solid Waste Management Division:

The refuse enclosure shall be moved a minimum of 10' north from the proposed location because the #10 landscape island on approach to proposed double enclosure poses a hindrance for refuse truck access. Do not plant anything next to refuse enclosure that will create an overhang. A complete/detailed spec. sheet for the proposed refuse enclosure, built to COA minimum requirements, including a sanitary drain, is needed.

12. Conditions from Transportation Development. The following comments need to be addressed prior to DRB:

- A. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- B. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.

13. Conditions from PNM:

- A. An existing overhead electric distribution line crosses the subject property of Phase 2. It is the applicant's obligation to abide by any conditions or terms of those easements.
- B. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Contact:  
Mike Moyer, PNM Service Center  
4201 Edith Boulevard NE, Albuquerque, NM 87107  
Phone: (505) 241-3697
- C. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to



allow 10 feet of clearance in front of the equipment door and 5- 6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications.

---

*Catalina Lehner*

**Catalina Lehner, AICP  
Senior Planner**

cc: Sawmill LLC, 4528 Carlisle Blvd. NE, ABQ, NM 87109  
Design Plus LLC, 2415 Princeton Drive NE, Suite G-2, ABQ, NM 87107  
Devin H. Chapman, Sawmill Area NA, 520 Lomas Blvd. NW, ABQ, NM 87102  
Thomas Hopkins, Sawmill Area NA, 918 19<sup>th</sup> St. NW, ABQ, NM 87104



## ***CITY OF ALBUQUERQUE AGENCY COMMENTS***

### ***PLANNING DEPARTMENT***

#### ***Zoning Enforcement***

#### ***Office of Neighborhood Coordination***

#### ***Long Range Planning***

No comment

#### ***Metropolitan Redevelopment Agency***

### ***CITY ENGINEER***

#### ***Transportation Development Services***

##### **16EPC-40059 Amended Site Development Plan for Building Permit**

1. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
2. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

The following comments need to be addressed prior to DRB:

- C. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- D. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.

##### **16EPC-40060 Amended Site Development Plan for Subdivision**

- Infrastructure and/or ROW dedications may be required at DRB.
- All work within the public ROW must be constructed under a COA Work Order.

#### ***Traffic Engineering Operations***

No comments received.

#### ***Hydrology Development***

#### ***New Mexico Department of Transportation (NMDOT)***

NMDOT has no comments.



**DEPARTMENT of MUNICIPAL DEVELOPMENT**

**Transportation Planning**

**WATER UTILITY AUTHORITY**

**Utility Services**

1. 16EPC-40059 Amended Site Development Plan for Building Permit
  - a. An availability was issued 08/04/2011 and has expired. Once service is desired, submit a new request for an availability statement at the link below. The submittal shall include an approved Fire 1 Plan from the City fire marshal's office.
    - i. [http://www.abcwua.org/Availability\\_Statements.aspx](http://www.abcwua.org/Availability_Statements.aspx)
  - b. All onsite water and sanitary sewer shall be considered private.
  - c. Sanitary sewer services are provided per previous installation of the 8" sanitary sewer located along the property to the east. The utility plan references CPN 317585. Confirm this project number as records indicate 617585.
    - i. Based on the location of the public sanitary sewer easement, private sanitary sewer easements are required to access this public sanitary sewer easement across the private property to the east.
2. 16EPC-40060 Amended Site Development Plan for Subdivision
  - a. No adverse comments.

**ENVIRONMENTAL HEALTH DEPARTMENT**

**Air Quality Division**

**Environmental Services Division**

**PARKS AND RECREATION**

**Planning and Design**

**Open Space Division**

**City Forester**

**POLICE DEPARTMENT/Planning**

**SOLID WASTE MANAGEMENT DIVISION**

**Refuse Division**

#10 landscape island on approach to proposed double enclosure poses a hindrance for refuse truck access. Move refuse enclosure a minimum of 10' to the North from existing/proposed location. Do not plant anything next to refuse enclosure that will create an overhang. Need complete/detailed spec. sheet for proposed refuse enclosure built to COA minimum requirements, including a sanitary drain.



***FIRE DEPARTMENT/Planning***

***TRANSIT DEPARTMENT***

Not a Transit Corridor	Not on a Transit Route	Nearest service is south-bound Route 36 on Rio Grande near Hotel Albuquerque	No comment.
---------------------------	---------------------------	---	-------------

***COMMENTS FROM OTHER AGENCIES***

***BERNALILLO COUNTY***

***ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY***

Reviewed, no comment.

***ALBUQUERQUE PUBLIC SCHOOLS***

- A. EPC Description: 16EPC-40059 Amended Site Development Plan for Building Permit  
16EPC-40060 Amended Site Development Plan for Subdivision
- B. Site Information: Lot 2-D-1, Plat of Arbolera De Vita, Unit 2B, zoned SU-2/SU-1 for PRD,  
located on 18th St. NW and Bellamah Ave. NW, between 19th St. NW and 18th St. NW,  
containing approximately 2.5132 acres.
- C. Property Address: N/A
- D. Request Description: The owner of the above property requests approval for the subdivision of Lot  
2-D-1 into 2-D-1A and 2-D1B. If approved, the existing zoning SU-2/SU-1 for PRD will remain.  
The proposed Amended Site Development Plan includes the approval of 13 residential units in  
Phase 2.
- E. APS Comments: The request for development of 13 residential units in this area will have impacts  
to the Reginald Chavez Elementary School, Washington Middle School, and Albuquerque High  
School. Currently, all three schools have excess capacity to accommodate growth.
- Residential Units: 13
  - Est. Elementary School Students: 4
  - Est. Middle School Students: 2
  - Est. High School Students: 2
  - Est. Total # of Students from Project: 8

\*The estimated number of students from the proposed project is based on an average student  
generation rate for the entire APS district.

***School Capacity***



<b>Loc No</b>	<b>School</b>	<b>2016-17 40th Day</b>	<b>Capacity</b>	<b>Space Available</b>
330	Reginald Chavez ES	300	350	50
465	Washington MS	441	678	237
590	Albuquerque HS	1803	1900	97

***MID-REGION COUNCIL OF GOVERNMENTS***

***MIDDLE RIO GRANDE CONSERVANCY DISTRICT***

***PUBLIC SERVICE COMPANY OF NEW MEXICO***

1. An existing overhead electric distribution line crosses the subject property of Phase 2. It is the applicant's obligation to abide by any conditions or terms of those easements.
2. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Contact:  
Mike Moyer, PNM Service Center  
4201 Edith Boulevard NE, Albuquerque, NM 87107  
Phone: (505) 241-3697
3. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5- 6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications.



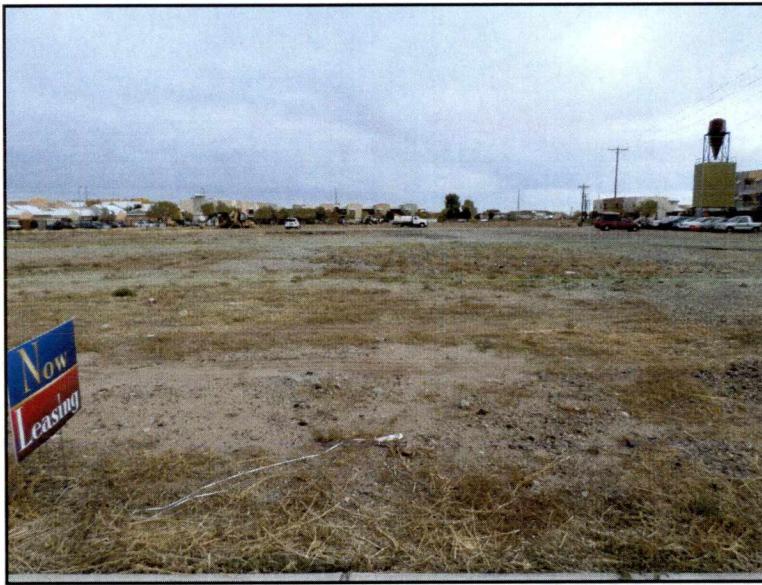


Figure 1: Looking north at the subject site, from Bellamah Ave.

Figure 2: Looking south at Bellamah Ave. while standing on the subject site.



Figure 3: Looking east at Bellamah Ave. while standing on the subject site.



Figure 4: Looking west, from Bellamah Ave. The subject site is to the north (right).



Figure 5: Looking W at the Sawmill Lofts, from the subject site.

Figure 6: Looking E at one of the Phase I buildings (B) of Sawmill Village, from the subject site. Note the materials and colors.







Figure 7: Looking NE from the subject site, at another of the Phase I buildings (D1) of Sawmill Village. Note the materials and colors.

Figure 8: Plaza area adjacent to Building D1, which will be connected to the Phase 2 buildings.



Figure 9: The drainage pond area on the north side of Tract A-2-A.



## HISTORY



PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339

## CERTIFICATE OF ZONING

October 3, 2016

Sawmill, LLC  
4528 Carlisle Blvd. NE  
Albuquerque, NM 87109

FILE: **Project# 1005354- 16EPC-40033**  
DATE OF FINAL ACTION: September 9, 2016

### LEGAL DESCRIPTION:

Lot 2, Correction plat of Sawmill Village

Staff Planner: Vicente Quevedo

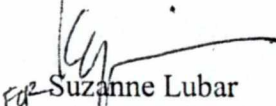
THE POSSIBLE APPEAL PERIOD HAVING EXPIRED, THE ZONING ON THE ABOVE CITED PROPERTY IS NOW CHANGED AS FOLLOWS:

**FROM:** *SU-2 / SU-1 for PRD*

**TO:** *SU-2 / SU-1 for PRD and Microbrewery*

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of a zone map amendment does not constitute approval of plans for a building permit. Site and building plans need to be reviewed approved and signed-off by the Environmental Planning Commission, the Development Review Board, the Design Review Committee and/or the Building and Safety Division, as applicable and as required by the site's zoning, before a building permit.

Sincerely,

  
Suzanne Lubar  
Director, Planning Department

SL/VQ

cc: Sawmill, LLC 4528 Carlisle Blvd. NE, Albuquerque, NM 87109  
Code Enforcement Division  
Michelle Gricius, AGIS Division  
File





City of Albuquerque  
Planning Department  
Urban Design & Development Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: August 12, 2011

## **OFFICIAL NOTIFICATION OF DECISION**

**FILE: Project #1005354**  
11EPC-40045 Amend Site Development Plan for  
Subdivision

Keshet Dance Company  
214 Coal Ave SW  
Albuquerque, NM 87102

### **LEGAL DESCRIPTION:**

Dekker/Perich/Sabatini, agent for Keshet Dance Company, requests the above action for all or a portion of Lot B-2-A, Duke City Lumber Company, and Tract 2-D-1, Arbolera de Vida Unit 2B, zoned SU-2/SU-1 for PRD and SU-2/SU-1 for PRD and Microbrewery, located at the NW corner of Bellamah Ave. and 18th St., south of Interstate 40, between 19<sup>th</sup> St. and 12<sup>th</sup> St., containing approximately 10 acres. (H & J-13)  
Catalina Lehner, Staff Planner

On August 11, 2011, the Environmental Planning Commission (EPC) voted to APPROVE Project 1005354 / 11EPC-40045, a request for a Site Development Plan for Subdivision Amendment based on the following Findings and subject to the following Conditions:

### **FINDINGS:**

1. This request is for an amendment to a site development plan for subdivision with design standards for Lot B-2-A, Duke City Lumber Company, and Tract 2-D-1, Arbolera de Vida Unit 2B, an approximately 10-acre site known as "Sawmill Village" located at the northwest corner of 18<sup>th</sup> Street and Bellamah Avenue (the "subject site").
2. The applicant proposes to amend the existing site development plan for subdivision (Project #1005354, 07EPC-00107) to include a performing arts center, and auxiliary uses such as a café and offices, as part of Phase II of the project. The arts center would replace Buildings A2 and C; Building A1 would be smaller and reconfigured. A western portion of Phase I would be modified in response. Changes to building square footages, parking, landscaping and grading & drainage are also included in the amendment.

OFFICIAL NOTICE OF DECISION

Project #1005354, 11EPC-40045

August 11, 2011

Page 2 of 7

3. The subject site is zoned: SU-2/SU-1 PRD (Planned Residential Development) for Lot B-2-A, Duke City Lumber Company (Phase I) and SU-2/SU-1 for PRD and Microbrewery for Tract 2-D-1, Arbolera de Vida Unit 2B (Phase II). Planned Residential Development (PRD) is a permissive use in the SU-1 zone (§14-16-2-22).
4. The SU-1 for PRD zone [ref: §14-16-2-22(B)(25)] allows O-1 permissive uses and C-1 permissive uses up to 25% of the total gross floor area of a development. In the approved site development plan (07EPC-100107), O-1 permissive uses and C-1 permissive uses total approximately 16%. With the proposed arts center, the total would be 24.9% . This calculation counts live/work spaces as all C-1 uses. However, it is more likely that the live/work spaces would develop as combined office/commercial and residential uses, so the figure would be lower in reality.
5. The Comprehensive Plan, the Sawmill/Wells Park Sector Development Plan (SWPSDP), the Sawmill/Wells Park Metropolitan Redevelopment Plan (SWPMRP) and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site lies within the boundaries of the Central Urban Area of the Comprehensive Plan and the Sawmill/Wells Park Sector Development Plan (SWPSDP). The request must comply with the General SU-2 Regulations of the SWPSDP and the design standards in the Sawmill Village site development plan for subdivision (07EPC-00107).
7. The request generally furthers the Central Urban Goal and the following land use policies for the Central Urban Area:
  - A. Policy II.B.6a-location of new cultural and arts facilities. The request would result in a new arts facility located in the Central Urban area.
  - B. Policy II.B.6b- Central Urban upgrade/linkages. The request would constitute an effort to continue and expand the general upgrading of this part of the Central Urban area. The location of an arts facility in this area could result in linkages created between it and surrounding neighborhoods.
8. The request generally furthers the Economic Development Goal of the Comprehensive Plan. The request would result in some economic development. Adding an arts center to a mixed-use project can be considered diversified economic development that is balanced with social and cultural goals.
9. The request furthers the Goal for Cultural Traditions and the Arts and Policy II.C.7c because it would generally support the arts as a viable component of the community's well being by providing instruction opportunities and performance space (Goal). Also, the request would support coordination and promotion of the arts in the metropolitan area (Policy II.C.7c).
10. The request furthers the following Comprehensive Plan land use policies:
  - A. Policy II.B.5d-neighborhood values/environmental conditions/resources. The request would result in new development in a mixed-use, Central Urban area. Intensity would be generally appropriate and design would be compatible with existing and future buildings. An arts center would provide a social, cultural and recreational resource. Neighborhood organizations have indicated general support.



OFFICIAL NOTICE OF DECISION

Project #1005354, 11EPC-40045

August 11, 2011

Page 3 of 7

- B. Policy II.B.5e-programmed facilities/neighborhood integrity. The vacant subject site, in the Central Urban part of the City, is contiguous to existing urban facilities and services. The use of these is unlikely to adversely affect neighborhood integrity.
- C. Policy II.B.5l-quality design/new development. The proposed arts facility would be consistent with future buildings onsite and existing buildings and the area, which are characterized by a metal/stucco combination and use of multiple colors, in terms of quality and design. The proposed design would be generally appropriate to the plan area. The request furthers Policy II.B.5l-quality design/new development.

11. The request partially furthers the following, Comprehensive Plan land use policies:

- A. Policy II.B.5i- employment/service use location. Instruction in dance and fine arts is a service use (ref: 14-16-2-16(A)(10)(i)-C-1 zone). The proposed arts facility, at the NE corner of Phase II, is not sited directly east of the existing live/work units which somewhat minimizes its effect. However, current and future residents nearby may experience some noise and traffic impacts- especially on performance days.
- B. Policy II.D.4g- pedestrian opportunities integration. The proposed parking lot is not well-connected to the arts centers and does not meet Zoning Code 14-16-3-5(H)(5 and 6) regarding pedestrian connections. Pedestrian opportunities have not been integrated to the extent that they should be.

12. The request furthers the following Comprehensive Plan land use policies that pertain to redevelopment:

- A. Policy II.B.5o- redevelopment/rehab of older neighborhoods. The request is part of a larger project that would contribute to redevelopment of an older neighborhood in the Central Urban area. The Central Urban area is part of the Established Urban area. Redevelopment efforts in this neighborhood have been ongoing for awhile; such projects will strengthen redevelopment efforts.
- B. Policy II.B.5p- cost effective rehabilitation techniques. The request would result in privately funded redevelopment, which can be considered a cost-effective redevelopment technique since it does not use public funds (Technique #1).

13. The request partially fulfills the intent of the following Action Plans in the Sawmill/Wells Park Sector Development Plan (SWPSDP):

- A. Economic Development Action Plan (EDAP), based on the Sawmill Revitalization Strategy (SRS)- Though some jobs for area residents may result, they are likely to be service jobs and not the industrial or commercial type jobs the SRS envisions.
- B. Public Project Action Plan (PPAP)- The request would create a focal point in approximately the center of the Plan area, thereby linking this relatively isolated part of the Plan area to other parts of it. However, traffic operations could be affected.

14. The Sawmill Mixed-Use Development Traffic Impact Study (TIS) was completed in February 2007 in association with the 2007 proposal (Project #1005354, 07EPC-10107/10109). The required, updated Trip Generation Comparison (June 2011) notes an 18 trip per day increase in 24 hr. two-way volume.



The land use comparison reveals an increase of 276 trips per day (11.6%) between the proposed and approved land uses. Transportation Development Staff did not have any adverse comments.

15. The existing Sawmill Village design standards apply. Though the request complies with most standards, there are a few instances of non-compliance (ex. Trails & Sidewalks, Public Open Space). In other instances, detail is insufficient (ex. Signage, Site Lighting) to evaluate compliance. These are addressed and remedied through minor conditions of approval.
16. The affected neighborhood organizations are the Sawmill Area Neighborhood Association (SANA) and the Sawmill Community Land Trust (SCLT). A facilitated meeting was not held. The Arbolera de Vida Association, the Wells Park NA and the Sawmill Area NA submitted letters of support. There is no known neighborhood or other opposition.

#### **CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final DRB sign off, the applicant shall meet with the Staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.
3. The request shall comply with the General SU-2 Regulations in the Sawmill/Wells Park Sector Development Plan and the Sawmill Village design standards (Project #1005354, 07EPC-00107).
4. Building Data: Update the Building Data table to keep O-1 and C-1 uses less than 25% of the total development, as required in the SU-1 for PRD zone, and update the associated calculations.
5. Vehicle Parking:
  - A. The parking table shall incorporate the changes to building square footage and shall match the number of parking spaces shown on the site development plan.
  - B. The Zoning Code ratio ("required ratio") for the brewery/restaurant shall be 1 space for every 4 seats.
6. Bicycle & Motorcycle Parking:
  - A. The bicycle rack shall be relocated from the southern side of the site (landscape area) to a more central location on the plaza.
  - B. A bicycle rack detail shall be provided.
  - C. The motorcycle spaces on the western side shall be relocated to an area visible from the arts center's main entrance and shall be designated by signage [14-16-3-1(C)(2)].
  - D. Motorcycle spaces shall be counted in addition to vehicle spaces (not as part of the vehicle space total).
  - E. One more motorcycle space shall be provided.



7. Pedestrian & Plaza Issues:

- A. Clearly demarcated pedestrian crossings of raised, scored paving shall be provided across the drive aisles to connect the sidewalk (design standard).
- B. "Decorative Paving" shall be defined as scored and/or textured paving and its color specified.
- C. A bench shall be added to the northwest corner of the plaza area and to the area near the northwest corner of Building A-1.
- D. The material of the "plaza over the pond" shall be specified.
- E. The plaza area shall have seating and shade to cover a minimum 25% of the area.

8. Walls/Fences:

- A. The color, finish and/or type of block for the screen wall shall be specified.
- B. The location of the fence near the NW corner, and its color, finish and/or type, shall be specified and a detail provided.
- C. The color of the steel tube fence along the western side shall be indicated.
- D. The height, type, color and finish of the guard rail by the pond shall be indicated.

9. Landscaping Plan:

- A. The landscaping calculations shall be adjusted to correspond to the revised building square footages for Phase II.
- B. The 36 sf tree planting area shall be a minimum.
- C. The seat walls around the planters shall be shown.
- D. The street trees along Bellamah Avenue, approved in the 2007 site development plan, shall be re-instated.

10. Refuse Enclosures:

- A. The applicant shall check with SWMD regarding the refuse enclosure's location.
- B. Refuse enclosures shall comply with the requirements of the Solid Waste Management Division.
- C. The color and finish of the refuse enclosure shall be indicated.

11. Lighting: Provide a detail for each light pole type.

12. Reflective glass shall not be permitted (General SU-2 regulation 4.f.).

13. Signage:

- A. The letter color and lighting of the monument sign shall be specified.
- B. The letter color and square footage of the building mounted signs shall be specified.
- C. Signs shall not be illuminated plastic panel signs (design standard).

14. Minor Clean-Up & Additions:

- A. Use lighter shading on the building table and the parking table.
- B. Revise the label "Active Space" used for building A2's breakdown of square footages by use.
- C. Label the loading dock and the turn around area near it.
- D. Provide a separate detail sheet.

- E. Use bubbling to indicate changes to the tables on the Grading & Drainage plan.
- F. Correct the reference to 14-16-3-19 in the design standards.

15. Conditions from the City Engineer:

- A. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
- B. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
- C. Site plan shall comply and be designed per DPM Standards. Any instances of non-compliance are remedied through conditions of approval.

16. Conditions from PNM:

- A. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
- B. An existing electric transmission line is located on the eastern boundary of the Phase 1B and 1C and an existing electric distribution line is located east of the Phase 2 boundary. As a condition, it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate the relocation of existing electric structures regarding this project. In addition coordination with New Service Delivery Department is necessary regarding any proposed tree location and height, sign location and height, and lighting height in order to ensure sufficient safety clearances.
- C. Screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **AUGUST 26, 2011** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL



DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

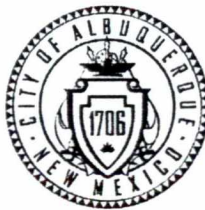
Sincerely,

*CMarone*

*for* Deborah Stover  
Planning Director

DS/CLL/mc

cc: Dekker/Perich/Sabatini, Attn: Chris Gunning & Gail Granot, 7601 Jefferson NE, Suite 100, Albuquerque, NM 87109  
Magdalena Ramirez, Sawmill Area NA, 1020 19<sup>th</sup> St. NW, Albuquerque, NM 87104  
Judy Gallegos, Sawmill Area NA, 1036 18<sup>th</sup> St. NW, Albuquerque, NM 87104  
Connie Chavez, Sawmill Community Land Trust, PO Box 25181, Albuquerque, NM 87125  
Wendy Statkus, Sawmill Community Land Trust, PO Box 25181, Albuquerque, NM 87125  
Peter Eller, Wells Park NA, 1715 5<sup>th</sup> St. NW, Albuquerque, NM 87102  
Kjudy Gallegos, Arbolera de Vida Association, c/o PO Box 25181, Albuquerque, NM 87125



City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: March 16, 2007

## OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1005354**  
07EPC-00109 EPC Sector Development Plan  
Map Amendment  
07EPC-00107 EPC Site Development Plan-  
Subdivision

Sawmill Village LLC  
4528 Carlisle Blvd. NE  
Albuq. NM 87109

LEGAL DESCRIPTION: for all or a portion of Lot B-2A, **Duke City Lumber Co. Addition** and Tract 2D, Arbolera de Vida, , zoned SU-2/S-I and S-MI to SU-2/SU-1 for PRD and Microbrewery, located on BELLAMAH AVE. NW, between ASPEN AVE. NW and BELLAMAH NW at 18<sup>th</sup> St., containing approximately 10 acres. (H-13)  
Carol Toffaleti, Staff Planner

On March 15, 2007 the Environmental Planning Commission voted to approve Project 1005354/ 07EPC-00109, a sector development plan map amendment from SU-2/S-MI (Sawmill Mixed Industrial) and SU-2/S-I (Sawmill Industrial) to SU-2/SU-1 for PRD for proposed Lots 2-11 and SU-2/SU-1 for PRD and microbrewery for proposed Lot 1, a site of approximately 9.97 acres located on Bellamah Avenue at 18<sup>th</sup> Street NW based on the following Findings and subject to the following Condition:

### FINDINGS:

1. This request is for a sector development plan map amendment from SU-2/S-MI and SU-2/S-I to SU-2/SU-1 for PRD for proposed Lots 2-11 and SU-2/SU-1 for PRD and microbrewery for proposed Lot 1 a site of approximately 9.97 acres in total located on Bellamah Avenue at 18<sup>th</sup> Street NW.
2. As required by Zoning Code Section 14-16-2-22 (B) (25) (b), this request is accompanied by a site development plan for subdivision (07EPC-00107) that meets the requirements of this section.
3. The request furthers Comprehensive Plan goals and policies:
  - a. Developing and Established Urban Areas (Section II.B.5) - The goal and policies d, e, h, i., j, l, m, o, p are furthered because the zoning will replace a blighted former industrial site with a mixed use, mixed income development that is compatible with surrounding uses, improves connectivity and does not pose significant air quality, noise and safety conflict.



- b. Central Urban Area (Section II.B.6) – The goal and policy b are furthered because the development will upgrade a pivotal site in the neighborhood and improve connectivity between residential areas, Tiguex Park, museums and other cultural/arts facilities in Old Town.
  - c. Air Quality (Section II.C.1) – The goal and policies b and i are furthered because the development combines residential with retail uses and employment opportunities on site, which reduces the need to travel by car. The site is also near Downtown and Old Town employment opportunities and amenities.
  - d. Water Quality (Section II.C.2) – The goal and policy a are furthered because rezoning and redevelopment will finalize clean-up of the site and prevent any possible further contamination of the groundwater by previous industrial uses.
  - e. Noise (Section II.C.4) – The goal and policy a are furthered because future noise/land use conflicts are prevented by the proposed mix of residential and small scale commercial uses.
  - f. Cultural Traditions and the Arts (Section II.C.7) – Policy c is furthered because the development is designed to provide uses that contribute to the arts and public spaces for cultural events.
  - g. Developed Landscape (Section II.C.8) – The goal and policy d are furthered because the rezoning and site development plan will significantly improve the environment and visual quality of this blighted industrial site.
  - h. Water Management (Section II.D.2) – The goal and policy b are furthered by the proposed xeriscaping and detention of stormwater run-off on site.
  - i. Energy Management (Section II.D.3) – The goal and policies a and c are furthered through the energy efficiency of multi-story compact development, the use of energy efficient appliances and shading from plantings.
  - j. Transportation and Transit (Section II.D.4) – The goal and policy g are furthered by this mixed use development that is pedestrian-friendly and improves connectivity for the neighborhood.
  - k. Housing (Section II.D.5) – The goal and policies a, b and d are furthered because the development provides affordable apartments and innovative design, including the opportunity to work on site, and will comply with all fair housing regulations.
  - l. Economic Development (Section II.C.6) – The goal and policies b and d are furthered because the development provides neighborhood-scale retail spaces and active spaces for artisans and professionals that encourages new local enterprises and economic investment in this redeveloping area. The site is well-located relative to Old Town and museums to capitalize on the tourist market.
4. The request supports the Sawmill/Wells Park Sector Development Plan because mixed use development at the site furthers many of its goals, policies and actions including those related to environmental problems, affordable housing, economic development, reusing vacant land, improving area appearance, and building on community historic character.



5. The request implements the Artisan Village, a priority action identified in the Sawmill/Wells Park Metropolitan Redevelopment Plan, and also furthers goals related to housing and infrastructure, as well as community economic development.
6. The request is justified as required by Resolution 270-1980:
  - a. Section A because the zone change is not in conflict with the health, safety, morals, and general welfare of the City and it furthers many goals and policies of City Plans.
  - b. Section B because the applicant provided a sound justification for the change by addressing many applicable City Plans, Goals, and Policies in its submittal and supplementary letters.
  - c. Section C because the zone change is not in conflict with adopted elements of City Plans and Policies.
  - d. Section D.2 and D.3 because the applicant demonstrated that the existing zoning is inappropriate because of changed neighborhood or community conditions and that a different use category is more advantageous to the community. The adoption of the Sawmill/Wells Park Metropolitan Redevelopment Plan constitutes a changed condition, which altered the course of development in the area from industrial to mixed-use commercial, service, retail, and residential (p.28). The applicant addressed several City goals and policies that apply to this request, in particular those in the Comprehensive Plan related to the Established Urban Area, Central Urban Area, Air Quality, Cultural Traditions and the Arts, Developed Landscape, Transportation and Transit, Housing and Economic Development.
  - e. Section E because the proposed zoning for residential and neighborhood scale commercial uses does not allow uses that are harmful to adjacent property, the neighborhood, or the community. A change to SU-2/SU-1 for PRD and microbrewery zoning requires review and approval of a site development plan for subdivision that addresses many development proposal questions and the zoning will allow for the removal of a use that no longer furthers the goals for the area.
  - f. Section F because the zone change does not require unprogrammed capital expenditures by the City. Adjacent improvements are the responsibility of the developer.
  - g. Section G because the cost of land is not the determining factor of the zone change.
  - h. Section H (not applicable).
  - i. Section I because the SU-2/SU-1 for PRD and microbrewery zoning is a justified spot zone. The request furthers many City goals and policies and is accompanied by a site development plan for subdivision as required by a change to SU-1 for PRD and microbrewery zoning. In addition, the zoning functions as a transition between the industrial/manufacturing uses to the north and south and the single-family residential uses to the east and west.
  - j. Section J because the proposed zoning does not constitute a strip zone.

**CONDITION:**

1. Replatting of the subject site must be completed at the DRB.
-



OFFICIAL NOTICE OF DECISION  
MARCH 15, 2007  
PROJECT #1005354  
PAGE 4 OF 9

On March 15, 2007 the Environmental Planning Commission voted to approve Project 1005354/ 07EPC-00107, a site development plan for subdivision for Lot B-2-A Duke City Lumber Co. Addition and Tract 2D Arbolera de Vida Unit 2, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This request is for a site development plan for subdivision for Lot B-2-A Duke City Lumber Co. Addition and Tract 2D Arbolera de Vida Unit 2, a site of approximately 9.97 acres, located on Bellamah Avenue at 18<sup>th</sup> Street NW, zoned SU-2/SU-1 for PRD and microbrewery for proposed Lot 1 and SU-2/SU-1 for PRD for proposed Lots 2-11, a site of approximately 9.97 acres in total located on Bellamah Avenue at 18<sup>th</sup> Street NW.
2. This request accompanies a sector development plan map amendment (07EPC-00109).
3. The request furthers Comprehensive Plan goals and policies:
  - a. Developing and Established Urban Areas (Section II.B.5) - The goal and policies d, e, h, i., j, l, m, o, p are furthered because the zoning will replace a blighted former industrial site with a mixed use, mixed income development that is compatible with surrounding uses, improves connectivity and does not pose significant air quality, noise and safety conflict.
  - b. Central Urban Area (Section II.B.6) – The goal and policy b are furthered because the development will upgrade a pivotal site in the neighborhood and improve connectivity between residential areas, Tiguex Park, museums and other cultural/arts facilities in Old Town.
  - c. Air Quality (Section II.C.1) – The goal and policies b and i. are furthered because the development combines residential with retail uses and employment opportunities on site, which reduces the need to drive. The site is also near Downtown and Old Town employment opportunities and amenities.
  - d. Water Quality (Section II.C.2) – The goal and policy a are furthered because rezoning and redevelopment will finalize clean-up of the site and prevent any possible further contamination of the groundwater by previous industrial uses.
  - e. Noise (Section II.C.4) – The goal and policy a are furthered because future noise/land use conflicts are prevented by the proposed mix of residential and small scale commercial uses. The applicant has not fully demonstrated compliance with policy b.
  - f. Cultural Traditions and the Arts (Section II.C.7) – Policy c is furthered because the development is designed to provide uses that contribute to the arts and public spaces for cultural events.
  - g. Developed Landscape (Section II.C.8) – The goal and policy d are furthered because the rezoning and site development plan will significantly improve the environment and visual quality of this blighted industrial site.
  - h. Water Management (Section II.D.2) – The goal and policy b are furthered by the proposed xeriscaping and detention of stormwater run-off on site.
  - i. Energy Management (Section II.D.3) – The goal and policies a and c are furthered through the energy efficiency of multi-story buildings, the use of energy efficient appliances and shading from plantings.



- j. Transportation and Transit (Section II.D.4) – The goal and policy g are furthered by this mixed use development that is pedestrian-friendly and improves connectivity for the neighborhood.
  - k. Housing (Section II.D.5) – The goal and policies a, b and d are furthered because the development provides affordable apartments and innovative design including the opportunity to work on site and will comply with all fair housing regulations.
  - l. Economic Development (Section II.C.6) – The goal and policies b and d are furthered because the development provides neighborhood-scale retail spaces and active spaces for artisans and professionals that encourage new local enterprises and economic investment in this redeveloping area. The site is well-located relative to Old Town and museums to capitalize on the tourist market.
4. The request supports the Sawmill/Wells Park Sector Development Plan because mixed use development at the site furthers many of its goals, policies and actions including those related to environmental problems, affordable housing, economic development, reusing vacant land, improving area appearance, and building on community historic character.
5. The request implements the Artisan Village, a priority action identified in the Sawmill/Wells Park Metropolitan Redevelopment Plan, and also furthers goals related to housing and infrastructure, as well as community economic development.
6. Findings from the Transportation Development (City Engineer/Planning Department):
- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - b. A Traffic Impact Study (TIS) has been submitted and reviewed by Transportation Staff.
  - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
  - d. The Traffic Impact Study is available for review by any interested party, in the office of the Traffic Engineer.
  - e. Main access aisle linking the extension of Bellamah Avenue with 18<sup>th</sup> Street to be dedicated as a public roadway easement. Should the applicant decide not to make this connection, an on-site cul-de-sac at Bellamah Avenue (east property line) shall be constructed to City standards.
  - f. Four-way intersection at east property line to be re-aligned such that the north/south legs of the intersection align with one another and are perpendicular to the main drive aisle (approximately in both cases).
  - g. Provide cross access agreements.
  - h. Site plan shall comply and be designed per DPM Standards.



7. The Sawmill Neighborhood Association and property owners within 100 feet of the site were notified of the requests. No facilitated meeting was requested. The Sawmill NA and Wells Park NA submitted letters of support for the project.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Site development plans for building permit for buildings in Phase I (Lots 2-11) may be submitted for building permit approval. Site development plans for building permit for buildings in Phase II (Lot 1) shall be submitted to the DRB for approval.
4. Conditions of approval from CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT for the proposed Sector Development Plan and Site Development Plan for Subdivision shall include:
  - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - b. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
  - c. Main access aisle linking the potential extension of Bellamah Avenue with 18<sup>th</sup> Street to be granted as a public roadway easement. Should the extension not be made the design shall be made subject to Fire, Solid Waste and Police Department approval.
  - d. Four-way intersection at east property line to be re-aligned such that the north/south legs of the intersection align with one another and are perpendicular to the main drive aisle (approximately in both cases).
  - e. Provide cross access agreements.
  - f. Site plan shall comply and be designed per DPM Standards.
  - g. Platting must be a concurrent DRB action.

5. The final design of a possible future connection with Bellamah Avenue NW on the east side of the site is contingent on the results of a neighborhood transportation study commissioned by City Council and further discussions between the City and all appropriate concerned parties.
6. Sheet SDP1 of the site development plan for subdivision shall be amended as follows:
  - a. Plan  
Add two bicycle racks, one for Building E3 and C.
  - b. Text
    - i) Open space – Refer to the R2 zone and section 14-16-2-11 (H) of the Zoning Code.
    - ii) Maximum building heights – Townhomes F: 28' maximum.
    - iii) Lighting
      - Insert after Perimeter parking “(north and northeast perimeter in Phase I, west perimeter in Phase II)”
      - Insert after cutoff features “provided that the lighting fixture does not directly shine on any residential premises’.
      - Change ‘Interior’ to ‘Other’ parking areas.
      - Move amended text to Design Guidelines, under site lighting.
    - iv) Parking
      - Correct errors in table of parking calculations related to Active Spaces.
7. The Design Guidelines on Sheet SDP3 shall be amended as follows:
  - a. Replace all citations of the term ‘should’ with ‘shall’.
  - b. Overall design theme –
    - i. Specify the green and sustainable building practices that shall be incorporated to support the water and energy management policies in the Comprehensive Plan.
    - ii. Site monuments and associated logo, symbol or letters shall comply with regulations applicable to signs within 40 feet of residential zones and to signs in the O-1 zone, specifically:
      - the monuments shall not be on the public right-of-way;
      - no part of the monument shall move, flash or rotate;
      - any illumination shall comply with the City’s Dark Sky requirements;
      - no illuminated portion of the monument shall have a luminance greater than 200 footlamberts at night nor change its illumination more than once an hour;
      - in addition; the identifying logo, symbol or letters shall be placed at a maximum height agreeable with staff prior to DRB;
      - the maximum overall size of the logo, symbol or lettering shall be in a size agreeable with staff prior to DRB.
    - iii. All units that face property zoned industrial shall have sound reducing insulation and windows.
    - iv. Include a sentence in the last paragraph to the effect that Phase II site development plans for building permit are delegated to the DRB for approval.



OFFICIAL NOTICE OF DECISION  
MARCH 15, 2007  
PROJECT #1005354  
PAGE 8 OF 9

- c. Parking
    - i. State that the guidelines also apply to disabled parking, and motorcycle and bicycle parking.
    - ii. Move the bicycle parking requirements currently under Trails and Sidewalks to this section and include material and color of bicycle racks.
  - d. Landscape - A landscape plan for Phase II shall be included with the (first) site development plan for building permit of a building on Lot 1, reflecting the calculations, plant palette and design theme of the approved Phase I landscape plan.
  - e. Exterior Wall Materials and Colors – The materials and colors of architectural elements, including patio walls, shall be listed for each building type in the development.
  - f. Roof lines, materials and colors – The roof lines, materials and colors shall be specified for each building type in the development.
  - g. Site lighting – Insert amended text from Sheet SDP1.
  - h. Placement of Mechanical Units – Specify that landscape screening for ground level units will be dense evergreen foliage.
  - i. Signage – Replace the second and fourth bullet points with the following text: ‘Signs identifying the principal use of a building may be free-standing or wall-mounted. Signs identifying the use of an active or other commercial space within a building shall be wall-mounted or a banner-type sign that projects no more than half of the adjacent sidewalk width.’
  - j. Screen Walls and Fences –
    - i. The applicant shall provide more detail concerning materials and colors for all walls and fences, including screening for dumpsters, the guardrail at the detention pond and the decorative wall at the back of the plaza.
    - ii. The applicant shall clarify fencing arrangements for the west side of the detention pond.
    - iii. Patio walls shall not exceed 5 feet.
8. The Landscape Plan (Sheet SDP2) shall be amended as follows:
- a. Add a Planting Note that prickly pears shall be planted away from communal areas and 5 feet from pedestrian walkways.
  - b. Keyed Note 2 shall specify a minimum tree grate size of 6 by 6 feet.
  - c. Planting note 4 on SDP2 shall be increased to 80%.
  - d. Planting note 7 add “Densities and overall count of plants shall meet or exceed those shown in the approved plan”.
  - e. The applicant shall add 1 tree in front of the north side of building D2.
9. The applicant shall clarify the location of electrical lines on the site (ref. Utility Plan, Sheet SDP9).

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MARCH 30, 2007** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC's RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC's DECISION.

OFFICIAL NOTICE OF DECISION  
MARCH 15, 2007  
PROJECT #1005354  
PAGE 9 OF 9

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,



*for* Richard Dineen  
Planning Director

RD/CT/ac

cc: Dekker/Perich/Sabatini, 7601 Jefferson NE, Suite 100, Albuquerque, NM 87109  
LF Schultz, Sawmill Area NA, 1324 Sawmill Rd. NW, Albuquerque, NM 87104  
Lezle Williams, Sawmill Area NA, 1127 12<sup>th</sup> St. NW, Albuquerque, NM 87104  
Bob Jones, 1015 20<sup>th</sup> St. NW, Albuquerque, NM 87104  
Gabriel Rivera, Metropolitan Redevelopment



## ZONING

Please refer to Zoning Code §14-16-2-22 for the SU-1 zone

## APPLICATION INFORMATION





### SUBDIVISION

- ☐ Major subdivision action  
☐ Minor subdivision action  
☐ Vacation  
☐ Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- ☒ for Subdivision  
☒ for Building Permit  
☐ Administrative Amendment (AA)  
☐ Administrative Approval (DRT, URT, etc.)  
☐ IP Master Development Plan  
☐ Cert of Appropriateness (LUCC)

### STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

### Supplemental Form (SF)

### S Z ZONING & PLANNING

- ☐ Annexation  
☒ Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)  
☐ Adoption of Rank 2 or 3 Plan or similar Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Change, or Subd. Regulations

### D Street Name Change (Local & Collector)

### L A APPEAL / PROTEST OF...

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102.

Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICATION INFORMATION

Professional/Agent (if any): Design Plus, LLC PHONE: 505 843-7587  
 ADDRESS: 2415 Princeton Drive NE Suite G-2 FAX: none  
 CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: Rupal@designplusabq.com  
 APPLICANT: Sawmill, LLC PHONE: 503 288-6210  
 ADDRESS: 4528 Carlisle Blvd. NE FAX: none  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: jrennaker@pacificap.com  
 Proprietary interest in site: Developer List all owners: Sawmill, LLC, Sawmill Community Land Trust, LLC; PacificCap Sawmill, LLC; PacificCap Holdings, LLC, CI Rennaker Family, LLC, Chad I. Rennaker Revocable Living Trust; Holden D. Rennaker Irrevocable Trust; Quinton J. Rennaker Irrevocable Trust; Hudson P. Rennaker Irrevocable Trust; Kalen R. Rennaker Irrevocable Trust; Jason Rennaker

### DESCRIPTION OF REQUEST: Amend the Site Development Plan for Subdivision and Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☐ No.

### SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 2-D-1 [to subdivide into 2-D-1A and 2-D-1B] Block:                      Unit: 2B  
 Subdiv/Addn/TBKA: Plat of Arbolera de Vita  
 Existing Zoning: SU-2/SU-1 for PRD Proposed zoning: No change MRGCD Map No. N/A  
 Zone Atlas page(s): H-13-Z and J-13 Z UPC Code: 1 013 059 306003 40211

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):  
 Project 1001980 and 1005354  
11AA-10096; 10AA-10097; 02EPC-00815; 07-EPC-00107; 07EPC-10109; 11EPC-40045; 16EPC-40033

### CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? ☐ No  
 No. of existing lots: 1 No. of proposed lots: 2 Total site area (acres): 2.5132 ac  
 LOCATION OF PROPERTY BY STREETS: On or Near: Eighteenth Street NW and Bellamah Avenue NW  
 Between: Nineteenth Street NW and Eighteenth Street NW  
 Check if project was previously reviewed by Sketch Plat/Plan ☐ or Pre-application Review Team (PRT) ☒ Review Date: 05-31-2016

### SIGNATURE

[Signature] DATE 09-28-2016

(Print Name) Rupal S. Engineer Applicant ☐ Agent ☒

### FOR OFFICIAL USE ONLY

	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING				
<input type="checkbox"/> All checklists are complete	<u>16EPC - 40063</u>	<u>ASBP</u>		<u>\$ 255.00</u>
<input type="checkbox"/> All fees have been collected	<u>- 40060</u>	<u>ASPS</u>		<u>\$ 285.00</u>
<input type="checkbox"/> All case #s are assigned	<u>-</u>	<u>ADU</u>		<u>\$ 75.00</u>
<input type="checkbox"/> AGIS copy has been sent	<u>-</u>	<u>CME</u>		<u>\$ 80.00</u>
<input type="checkbox"/> Case history #s are listed	<u>-</u>			<u>\$</u>
<input type="checkbox"/> Site is within 1000ft of a landfill	<u>-</u>			<u>\$</u>
<input type="checkbox"/> F.H.D.P. density bonus				<u>Total</u>
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 635.00</u>

Hearing date November 19 2016

4-29-16  
 Staff Signature & Date

Project# 1005354

- ☐ **SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16) Maximum Size: 24" x 36"**  
☐ **IP MASTER DEVELOPMENT PLAN (EPC11)**  
 \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC or Shopping Center: Certificate of No Effect or Approval  
 \_\_\_ Scaled Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies**.  
 For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.  
 \_\_\_ Site plans and related drawings reduced to 8.5" x 11: format **(1 copy)**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the request  
 \_\_\_ Letter of authorization from the property owner if application is submitted by an agent  
 \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 \_\_\_ Completed Site Plan for Subdivision and/or Building Permit Checklist  
 \_\_\_ Sign Posting Agreement  
 \_\_\_ Traffic Impact Study (TIS) form with required signature  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
**EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- ☐ **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC16) Maximum Size: 24" x 36"**  
☐ **SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY (WTF) (EPC17)**  
 \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC or Shopping Center: Certificate of No Effect or Approval  
 \_\_\_ Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies**  
 \_\_\_ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted.  
 (folded to fit into an 8.5" by 14" pocket) **20 copies**  
 \_\_\_ Site plans and related drawings reduced to 8.5" x 11: format **(1 copy)**  
 \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)  
 \_\_\_ Letter briefly describing, explaining, and justifying the request  
 \_\_\_ Letter of authorization from the property owner if application is submitted by an agent  
 \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 \_\_\_ Sign Posting Agreement  
 \_\_\_ Completed Site Plan for Subdivision and/or Building Permit Checklist  
 \_\_\_ Traffic Impact Study (TIS) form with required signature  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
**NOTE:** For wireless telecom facilities, requests for waivers of requirements, the following materials are required in addition to those listed above for application submittal:  
 \_\_\_ Collocation evidence as described in Zoning Code §14-16-3-17(A)(6)  
 \_\_\_ Notarized statement declaring number of antennas accommodated. Refer to §14-16-3-17(A)(13)(d)(2)  
 \_\_\_ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(13)(e)  
 \_\_\_ Affidavit explaining factual basis of engineering requirements. Refer to §14-16-3-17(A)(13)(d)(3)  
 \_\_\_ Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower §14-16-3-17(A)(17)  
 \_\_\_ Registered engineer or architect's stamp on the Site Development Plans  
 \_\_\_ Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius  
**EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- ☒ **AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01) Maximum Size: 24" x 36"**  
☒ **AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)**  
 \_\_\_ ☒ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **20 copies**  
 \_\_\_ ☒ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **20 copies**  
 \_\_\_ ☒ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **20 copies**  
 \_\_\_ ☒ Site plans and related drawings reduced to 8.5" x 11: format **(1 copy)**  
 \_\_\_ ☒ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ ☒ Letter briefly describing, explaining, and justifying the request  
 \_\_\_ ☒ Letter of authorization from the property owner if application is submitted by an agent  
 \_\_\_ ☒ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 \_\_\_ ☒ Sign Posting Agreement  
 \_\_\_ ☒ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)  
 \_\_\_ ☒ Traffic Impact Study (TIS) form with required signature  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
**EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any Information required but not submitted with this application will likely result in deferral of actions.

RUPAL S. ENGINEER for DESIGN PLUS, LLC  
 Applicant name (print)  
 09-29-2016  
 Applicant signature / date



Form Revised: November 2010

- ☐ Checklists complete  
☐ Fees Collected  
☐ Case #s assigned  
☐ Related #s listed

Application case numbers  
 1005364 - 400000  
 - 400000  
 -

Vign 9-29-16  
 Planner signature / date  
 Project #: 1005364





September 26, 2016

development

Karen Hudson, Chairwoman  
City of Albuquerque  
Environmental Planning Commission  
600 Second Street NW  
Albuquerque, New Mexico 87102

RE: Site Development Plan for Subdivision and  
Site Development Plan for Building Permit

Phase 2 of Sawmill Village Development  
Tract 2-D-1 of ARBOLERA DE VIDA, Unit 2B (see Certification of Zoning Dec 21,  
2010)

Dear Ms. Hudson:

construction

As the developer and partner with the land owner, Sawmill Community Land Trust,  
Sawmill, LLC, authorizes Design Plus, LLC to act as our agent for this request for Site  
Development Plan for Subdivision and Site Development Plan for Building Permit on the  
above-referenced parcel.

Respectfully,



\_\_\_\_\_  
Jason Rennaker  
Sawmill, LLC

cc: Rupal S. Engineer, Design Plus, LLC

management

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) FORM

H-13-Z &

APPLICANT: SAWMILL VILLAGE, LLC DATE OF REQUEST: 07 / 14 / 2016 ZONE ATLAS PAGE(S): J-13-Z

**CURRENT:**

ZONING SU-2 / SU-1 for PRD & Microbrewery

PARCEL SIZE (AC/SQ. FT.) 1.2630 acres

LEGAL DESCRIPTION: (See end of page, below)

LOT OR TRACT # Two parcels - see below BLOCK # \_\_\_\_\_

SUBDIVISION NAME See below

**REQUESTED CITY ACTION(S):**

ANNEXATION ☐

ZONE CHANGE ☐ From \_\_\_\_\_ To \_\_\_\_\_

SECTOR, AREA, FAC, COMP PLAN ☒ [XX]

AMENDMENT (Map/Text) ☒ [XX]

Sawmill/Wells Park Sector Development Plan

Sawmill Wells Park Community Redevelopment Area Plan

**SITE DEVELOPMENT PLAN:**

SUBDIVISION\* ☐ AMENDMENT ☐

BUILDING PERMIT ☐ ACCESS PERMIT ☐

BUILDING PURPOSES ☐ OTHER ☐

\*includes platting actions

**PROPOSED DEVELOPMENT:**

NO CONSTRUCTION/DEVELOPMENT ☒ [XX]

NEW CONSTRUCTION ☐ [ ]

EXPANSION OF EXISTING DEVELOPMENT ☐ [ ]

**GENERAL DESCRIPTION OF ACTION: See Below\*\***

# OF UNITS: N/A

BUILDING SIZE: N/A (sq. ft.)

\*\*The initial zone change designation of SU-1 for PRD and Microbrewery was intended for Parcel No. 1. However, it was granted for Parcel No. 2 instead. This request is to correct this error. TIA was performed for original Sector Development Plan Amendment and Site Development Plan for Subdivision in 2007. The project development parameters have not changed.

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature]

DATE: 7/15/16

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>nd</sup> Floor West, 600 2<sup>nd</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES ☐ NO ☒ [X] BORDERLINE ☐

THRESHOLDS MET? YES ☐ NO ☐ MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: ☐

If a TIS is required: A scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

TRAFFIC ENGINEER [Signature]

DATE 7/15/16

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED      /      /       
-FINALIZED      /      /     

TRAFFIC ENGINEER \_\_\_\_\_

DATE \_\_\_\_\_

Revised January 20, 2011

Parcel No. 1: Lot No. 2 within Town of Albuquerque Grant in projected Sections 7 & 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico.

Parcel No. 2: Tract 2-D-1 ARBOLERA DE VIDA, Unit 2B (see Certification of Zoning Dec 21, 2010)



September 29, 2016

**Amended Site Development Plan for Subdivision and Building Permit  
Sawmill Village Redevelopment - Phase 2  
Tract 2-D-1 of ARBOLERA DE VIDA, Unit 2B  
(To subdivide into Tract 2-D-1A and 2-D-1B)**

**Application to:**  
City of Albuquerque  
Environmental Planning Commission  
For Hearing on: November 10, 2016

**Applicant:**  
Sawmill, LLC  
4528 Carlisle Blvd. NE  
Albuquerque, New Mexico 87109

**Agent:**  
Design Plus, LLC  
2415 Princeton Drive NE Suite G-2  
Albuquerque, New Mexico 87107  
(505) 843-7587 or (505) 228-7418

This letter is in support of Applicant's Application to amend the existing Site Development Plan for Subdivision and Building Permit.

**Background:**

In the early 1900's, the Sawmill area as once a thriving sawmill industry. However, Duke City Lumber Company that once provided jobs and growth to the area also brought environmental contamination. Drying stacks, mill ponds and woodburning incinerators filled the property now known as *Arbolera de Vida* and the former *Ponderosa Products Site*. In the 1960's, Ponderosa Products opened a particle board manufacturing plant that continued to exacerbate the environmental impact to both air and water quality for the community.

In the 1980's, the Sawmill neighborhoods organized their efforts to advocate the City and State to clean up the entire Sawmill area. These efforts resulted in State enforcement to monitor ground water and air quality, and for the City of Albuquerque to purchase 27 acres of the Duke City Lumber site - now known as the *Arbolera de Vida*.

In 1999, the Sawmill Community Land Trust (SCLT) successfully acquired the right to develop a 27 acre parcel in partnership with the City of Albuquerque to create Arbolera de Vida, a non-profit development organization.

Continued advocacy efforts by area neighbors for environmental cleanup of the Ponderosa Products site and change neighborhood conditions resulted in its closure in 2003. In 2004, SCLT purchased the property. This successful community-based effort to redevelop a blighted

area and brownfield site is furthered by creating Sawmill Village. It was a neighborhood triumph to tear down this eyesore and create a new activity center that contributes to the revitalization of the area's neighborhoods.

In 2007, the SCLT and the developer partnered and formed the Sawmill, LLC, with the vision to create Sawmill Village on this site to provide compatible uses with current redevelopment efforts in the area. The site is situated on two tracts of land. The SCLT owns the old Ponderosa Products site and is the development partner with the City of Albuquerque on Tract 2 in Arbolera de Vida for a total of 9.97 acres.

In 2010, the old Ponderosa Products site (Lot B-2-A of the Duke City Lumber Company Addition) was replatted into ten lots to reflect the Sawmill Village development requirements as: Lots 1 through 10 of Sawmill Village within the Town of Albuquerque Grant in projected Sections 7 & 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico.

In December 2010, a Certificate of Zoning was issued after a 2007 EPC hearing and decision as a result of an Application for a Site Development Plan for Subdivision and Zone Map and Sector Development Plan Amendment:

Tract 2-D-1 of ARBOLERA DE VIDA, Unit 2B

Changed Zoning From: From SU-2 / S-MI (sawmill mixed industrial)

Changed Zoning To: To SU-2 / SU-1 for PRD and Microbrewery

In 2011, the Site Development Plan for Subdivision was amended to reflect changes to the Sawmill Village development in keeping with the existing approved site development plan for subdivision and approved zone and sector plan amendments. The DRB approval sign-off was completed on October 14, 2011.

(Refer to attached Exhibit A: Site Development Plan for Subdivision (2011) with DRB signoff.)  
(Also included in full-sized drawings as Sheet SDP-1 R1)

In September 2016, Project No. 1005354/16EPC-40033, the Sector Development Plan Map Amendment was approved by the EPC to correct the zoning designation for the subject parcel:

Tract 2-D-1 of ARBOLERA DE VIDA, Unit 2B

Changed Zoning From: SU-2 / SU-1 for PRD and Microbrewery

Changed Zoning To: SU-2 / SU-1 for PRD

The appeal period for this Sector Development Plan Map Amendment ended on September 23, 2016. As of the date of this application, the Certification of Zoning has not been received.

(Refer to attached Exhibit B: Official Notification of Decision, 09-09-2016)



The Sawmill Community Land Trust continues to retain ownership of the land and will provide a long-term land lease with the developer. This unique partnership is a cooperative effort that reflects the character of the neighborhoods and the current redevelopment projects in the area. Sawmill Village is a mixed income and mixed use development that provides connectivity for adjacent neighborhoods and is an attraction for visitors to museums along Mountain Road and the Old Town area. This collaborative project provides activity, vibrancy and connectivity, while encouraging small business development and providing job opportunities to area residents.

### **Introduction and Project Description:**

The first purpose of this application is to request the approval of an amended Site Development Plan for Subdivision to divide the subject parcel into two parcels.

The request includes existing parcel with a total of 2.5132 acres, described as:

(Tract 2-D-1 of ARBOLERA DE VIDA, Unit 2B) containing approximately 2.5132 acres

(Refer to attached Exhibit C: Zone Map pages H-13-Z and J-13-Z)

The second purpose of this application is to request the approval of an amended Site Development Plan for Building Permit to reflect changes to Building A-1 and Building A-2 of the Sawmill Village development in keeping with the existing approved site development plan for subdivision and approved zone and sector plan amendments. The specific changes are to meet the needs of the anticipated tenants and usage of the building which differ from the tenants and usage approved in 2011.

### **Existing Project Description**

The Sawmill Village redevelopment project is a mixed use (residential and commercial) and mixed income project that includes 166 residential units along with retail uses and 10 active spaces. Sawmill Village is a part of the Sawmill industrial area revival. It includes elements of new urbanism that complement area neighborhoods and current redevelopment efforts at Sawmill Community Land Trust to the West.

Phase 1 of the project included market-rate and affordable residential uses. The residential units included townhomes and affordable rental apartments of various sizes and configurations. Unique to this project are active spaces located on the ground level of two of the affordable apartment buildings. These active spaces provide artisans with space to work and show their wares and provide office space or other non-traditional workspaces for professionals. Retail space is provided on the ground level of Building B located at the main entrance to the site from 18<sup>th</sup> Street and Bellamah Avenue. The project also includes the plaza area to the North as the focal point for neighborhood and community activities.

Phase 2 will include additional retail and active space on the ground level in Building A-1. The retail location for Phase 2 development will be along the main entrance at 18<sup>th</sup> Street and Bellamah Avenue, and will create a vibrant active area that complements the retail spaces in existing Phase 1. The developer also proposes Building A-2, located north of Building A-1 on the same parcel. It is anticipated that Building A-2 will be a two-story facility that will house a State of New Mexico public charter school.

The uses for Building A-1 and Building A-2 conform to approved revised zone designations (SU-2 / SU-1 for PRD).

Due to the separate facility ownership requirements (specifically, for the State of New Mexico Public Charter School) of each proposed building, subdivision of the parcel into two separate legal lots is required. Building A-1 on proposed Tract 2-B-1A will continue to be owned by the SCLT, while it is anticipated that proposed Building A-2 on Tract 2-B-1B will house a public charter school facility which will be owned the State of New Mexico.

## **A. Design Concept and Architectural Elements**

The design concept for the Phase 2 development continues the concept of horizontal and vertical mixed-use development that provides a variety of uses that enable people to live, learn, work, play and shop in one area. Overall, Sawmill Village is designed to create a vibrant and active place for locals and to create a destination for visitors. The concept is to provide a mixed-use, small scale urban environment that nearby neighborhoods and visitors alike can easily walk to, experience artisans working and selling their wares, shop at small boutiques, and have dining opportunities.

The property also features programmed activities on the plaza which include music, art shows, farmers' markets and festivals that celebrate the area's rich and diverse history of art, agriculture and industry. This infill project establishes a more efficient use of land.

The proposed architectural and design elements will continue the language of elements which reflect the industrial / manufacturing history of the area while creating a style that captures architectural elements reflective of New Mexico: wood, stucco and metal. Materials recycled from the old Ponderosa Products site are used for decorative features and structural elements for the buildings and streetscape. For example, one of the most prominent features of the old Ponderosa Products site (and all of the sawmill industries) is the sawdust hopper. This feature is recycled and used as a focal point and stage for the plaza area.

## **B. Project Development Components - Density, Land use, Residential Products, Parking and Transportation**

(i) Density: 20 DU/Acre based on 9.97 acres

(ii) Land Use and Residential Products:

This project includes:

- Two types of products: Apartments and Townhomes
- Retail uses, including a restaurant with microbrewery (existing)
- Active/Office Space: Lease spaces on the ground floor of some of the apartment buildings for artists, crafters and photographers who produce and display their creations. It allows artists and professionals to mingle with more traditional pursuits to create a diverse and energetic atmosphere for individuals with entrepreneurial spirit.

Affordable rental housing will be located in five buildings (D-1, D-2, E-1, E-2 and E-3) on the site for a total of 166 units ranging in size from 650 sq.ft. to 1,050 sq. ft. The affordable rental housing will be for persons with incomes at 50%, 60% and 80% or below the area median



income for the Albuquerque MSA. There will also be 8 attached townhomes (Building F). There will be 174 units of housing in Phase 1 with an additional 13 units of apartments in Phase 2 for a total of 187 residential units. The land uses are shown by housing product and phases in the tables below and on the following page:

**Phase 1 (Existing)**

Uses	Apartments	Town Homes	Active Spaces	Retail	Total Residential
Building	D-1, D-2, E-1, E-2, E-3	F	D-1, D-2	B	
Use	Rental	For Sale	Leased		
Number of Units	166	8	16		174
Gross Sq.Ft. Range	650 to 1,050	Up to 1,600	550 to 1,050	Up to 9,000	

**Phase 2 (Proposed in this Request)**

Uses	Apartments	Active Spaces	Retail and other PRD-allowable uses	Total Residential
Building	A-1	A-1	A-1 and A-2	
Use	Rental	Leased		
Number of Units	13	up to 6		13
Gross Sq. Ft. Range	850 to 1,050	550 to 1,050	Up to 63,000	

(iii) Transportation: Bus routes include Route 36 on 12<sup>th</sup> Street and Rio Grande Blvd with stops at:

- Bellamah and 12<sup>th</sup> Street
- Old Town Inn (Rio Grande Blvd)
- New Mexico Natural History Museum near 18<sup>th</sup> Street and Mountain Road

(iv) Parking Provided:

The existing parking is reflective of a mixed-use development in a shared parking environment which increases parking efficiency by creating a place that residents can live and work in one location.

The project is designed to create jobs/workplace and housing balance. The opportunity to live and work in the same area, to easily bike or walk to downtown or to use public transportation options is essential to the future sustainability of infill developments.

The proposed parking reflects a slight reduction from current COA parking requirements. The justification is based on the mixed-use and mixed-income nature of this development with “park once” concept, and on a two-week study of parking use at the Sawmill Lofts, an affordable housing development located at 19<sup>th</sup> Street and Bellamah Avenue. The table on the next page illustrates the parking provided for the total development by phase, use and building type.

## Parking Calculation for Amended Site Development Plan for Subdivision and for Building Permit

PHASE 1 - EXISTING		UNITS	ACCESS-IBLE	MOTOR-CYCLE	BICYCLE	PROVIDED*	PROPOSED RATIO	REQUIRED RATIO	REQUIRED **
Residential									
Lot 2	Condominiums	20				30	1.5/unit	1.5 or > 1000sf = 2	30
Lots 1A, 1B & 1C	Apartments	146				146	1.0/unit	1.5 or > 1000sf = 2	219
Lot 3 to 10	Townhomes (private garage)	8					2/unit (private)	1 per bath	16
<b>Total Residential</b>		<b>174</b>				<b>176</b>			<b>265</b>

### Non Residential

Lot 2	Retail					25	1/200 sq ft	1/200 sq ft	25
	Microbrewery/ Restaurant					40	160 Seats	1/4 seats	40
Lot 1A	Active Spaces	16				32	1/200 sq ft	1/200 sq ft	52
<b>Total Non Residential</b>		<b>16</b>				<b>97</b>			<b>117</b>

Visitor						10			
<b>TOTAL PHASE 1 PARKING</b>			<b>10</b>	<b>6</b>	<b>88</b>	<b>283</b>			<b>382</b>

PHASE 2 - PROPOSED		UNITS	ACCESS-IBLE	MOTOR-CYCLE	BICYCLE	PROVIDED*	PROPOSED RATIO	REQUIRED RATIO	REQUIRED **
--------------------	--	-------	-------------	-------------	---------	-----------	----------------	----------------	-------------

### Residential

Lot 1	Building A1								
	Apartments	12				15	1.25/unit	1.5 or > 1000sf = 2	18
<b>Total Residential</b>		<b>12</b>			<b>6</b>	<b>15</b>			<b>18</b>

### Non Residential

Lot 1	Building A1				2				
	Retail					2	3/1000 sq ft	1/200 sq ft	2
	Active Spaces	10				10	1/unit	1/200 sq ft	21
Lot 1	Building A2				18				
	Mid- and High School					60			60
<b>Total Non Residential</b>		<b>10</b>				<b>72</b>			<b>83</b>
<b>TOTAL PHASE 2 PARKING</b>			<b>6</b>	<b>4</b>	<b>26</b>	<b>87</b>			<b>101</b>

			ACCESS-IBLE	MOTOR-CYCLE	BICYCLE	PROVIDED*	PROPOSED RATIO	REQUIRED RATIO	REQUIRED **
<b>TOTAL PARKING BOTH PHASES</b>			<b>16</b>	<b>10</b>	<b>114</b>	<b>370</b>			<b>483</b>

**NOTES:** All of the total spaces required for Phase 2, 87 are on-site. Of the 87 on-site, 6 are compact spaces and 3 are motorcycle parking spaces.

\* Calculations under "Provided" column (calculated at the "Proposed Ratio") establish the total parking needed and provided for the project and do not establish the parking required for any specific lot. The required parking for each lot is established by the number of spaces shown on the site plan.

\*\* Calculations under "Required" column (calculated at the "Required Ratio") are standard City of Albuquerque zoning code parking requirements and are included only for comparison. They do not establish parking required for this project.



## Conclusion

Overall, this request for approval of an Amended Site Development Plan for Subdivision and for Building Permit reflects the character of the existing Sawmill Village community, addresses issues and priorities of the neighborhoods, furthers the goals of the prior-approved Site Development Plan and also of the *Sawmill / Wells Park Sector Development Plan*, the *Metropolitan Redevelopment Plan* and the *Albuquerque / Bernalillo County Comprehensive Plan*.

The requested for approval of an Amended Site Development Plan for Subdivision and for Building Permit is appropriate. The applicant respectfully requests the Environmental Planning Commission to consider this application for approval.

A handwritten signature in black ink, consisting of a stylized 'R' followed by a horizontal line and a small flourish.

Submitted by:

Rupal S. Engineer  
Design Plus, LLC  
Agent for Applicant

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING

PA# 16-103 Date: 5.31.2016 Time: 2PM

Address: TRACT 2-D

### 1. AGENCY REPRESENTATIVES PRESENT AT MEETING

Planning: ☒ Kym Dicome ☒ Other: MICHAEL VOS  
Transportation: ☒ Gary Sandoval ☐ Other: \_\_\_\_\_  
Code Enforcement: ☒ Ben McIntosh ☐ Other: \_\_\_\_\_  
Fire Marshall: ☐ Antonio Chinchilla ☐ Other: \_\_\_\_\_

### 2. TYPE OF APPLICATION ANTICIPATED / APPROVAL AUTHORITY

- ☐ Zone Map Amendment ☐ EPC Approval ☐ City Council Approval  
☐ Sector Dev. Plan Amendment ☐ EPC Approval ☐ City Council Approval  
☐ Site Dev. Plan for Subdivision ☐ EPC Approval ☐ DRB Approval ☐ Admin Approval  
☐ Site Dev. Plan for Bldg. Permit ☐ EPC Approval ☐ DRB Approval ☐ Admin Approval  
☐ Other \_\_\_\_\_

### 3. SUMMARY OF PRT DISCUSSION:

Current Zoning: SU-2/SU-1 FOR PRD W/ MICROBREWERY

Proposed Use/Zone: "

Applicable Plans: SW MILL INDEPS PK SDF

Applicable Design Regulations: \_\_\_\_\_

Previously approved site plans/project #s: \_\_\_\_\_

Requirements for application: (R-270-1980, Notification, as-built drawings, TIS, Check Lists, Other) \_\_\_\_\_

Handouts Given:

☐ Zone Map Amendment Process ☐ R-270-1980 ☐ AA Process ☐ EPC Schedule

Additional Notes:

PROPOSING 45K CHARTER SCHOOL + 10,000 SF RETAIL.  
SEVERAL AA'S.

- 7 SF W/ RETAIL BLDG AT SE END.

SPS AMENDMENT

SECTOR D. PLAN MAP AMENDMENT TO ADD MICROBREWERY  
(SU-1 PRD...) - PULL THE 1005354 FILE FOR  
JUSTIFICATION FOR ZONE CHANGE.

### 4. SIGN & DATE TO VERIFY ATTENDANCE & RECEIPT OF THIS SUMMARY.

[Signature]  
PRT CHAIR

[Signature]  
APPLICANT OR AGENT

\*\*\*Please Note: PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY: THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL. Statements regarding Zoning are not Certificates of Zoning. Additional research necessary to determine the exact type of application and/or process needed. It is possible that factors unknown at this and/or thought of as minor could become significant as the case progresses.



SPP FOR EP FOR TRACT 2-D ALONG W/ SPS  
AMENDMENT

G.I/O.I USES 25% - FOR ENTIRE SITE, NOT CALC'D  
PHASE BY PHASE.

SETBACKS. AMEND W/ SPS TO REDUCE.

DRAINAGE. MUST BE UPDATED TO MEET FIRST FLUSH  
REQ'MENTS.

SUBMIT SHARED PARKING/ACCESS ESM'TS W/ EPC  
SUBMITTAL.

DRB SIGN OFF AFTER EPC - ONE WK TURNAROUND.

LANDSCAPE CALO'S SIMILAR.

ZONE CHANGE FOR PHASE IF. MEASUREABLE  
LINES DOES NOT HAVE TO BE PLAT LINES.

JUST REQUEST FOR AREA THAT REQUIRES  
ZONECHANGE (STAY AWAY FROM APTS....)

## NEIGHBORHOOD INFORMATION





## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

**PLEASE NOTE:** The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

September 27, 2016

Ms. Rupal Engineer  
Design Plus, LLC  
2415 Princeton Dr. NE, Ste. G-2/87107  
Phone: 505-843-7587 Fax:  
E-mail: rupal@designplusabq.com

Dear Ms. Rupal:

Thank you for your inquiry of **September 27, 2016** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(EPC SUBMITTAL) TR 2-D-1 PLAT OF ARBOLERA DE VIDA UNIT 2B (BEING A REPLAT OF TRACTS 2-A, 2-D & 2-E ARBOLERA DE VIDA UNIT 2) CONT 2.5132 AC LOCATED ON APPROXIMATELY 1771 BELLAMAH AVENUE NW NEAR INTERSECTION OF 18<sup>TH</sup> STREET NW AND BELLAMAH AVENUE NW BETWEEN NINETEENTH STREET NW AND EIGHTEENTH STREET NW zone map H-13 AND J-13.**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this submittal and the contact names are as follows:

**SAWMILL AREA N.A. (SMA) "R"**

**\*Devin H. Chapman**

520 Lomas Blvd. NW/87102 362-2429 (h)

Thomas Hopkins

918 19<sup>th</sup> St. NW/87104 217-9110 (h)

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing (**PLEASE ATTACH: 1) Copy of this letter; 2) Copy of letters sent to NA/HOA's and 3) Copy of White Receipts showing proof that you sent certified mail w/stamp from USPS showing date.**) If you have any questions about the information provided please contact me at (505) 924-3914 or via an e-mail message at [dcarmona@cabq.gov](mailto:dcarmona@cabq.gov).

Sincerely,

*Dalaina L. Carmona*

Dalaina L. Carmona

Senior Administrative Assistant

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

**LETTERS MUST BE SENT TO  
BOTH CONTACTS OF EACH  
NA/HOA FOR THIS  
PLANNING SUBMITTAL.**



2415 Princeton Dr. NE G2  
Albuquerque, NM 87107  
Voice 505.843.7587  
www.designplusabq.com

September 28, 2016

Sawmill Area Neighborhood Association  
Devin H. Chapman  
520 Lomas Blvd. NW  
Albuquerque, New Mexico 87102

Sawmill Area Neighborhood Association  
Thomas Hopkins  
918 19<sup>th</sup> Street NW  
Albuquerque, New Mexico 87104

RE: Amendment to Site Development Plan for Subdivision and Building Permit  
Tract 2-D-1 [2-D-1A and 2-D-1B] of ARBOLERA DE VIDA, Unit 2B  
Phase 2 of Sawmill Village Development

Dear Mr. Chapman and Mr. Hopkins:

We thank you and your Neighborhood Association for its continued support of the Sawmill Village community.

This letter is to inform your Neighborhood Association that Design Plus, acting as agent for Sawmill, LLC, the developer, will be submitting a request to amend the approved Site Development Plan for Subdivision and Building Permit for the above parcel located at approximately 1761 Bellamah Avenue NW.

The City of Albuquerque Environmental Planning Commission is anticipated to hear the request on November 10, 2016, in the Plaza del Sol building located at 600 Second Street NW.

In 2007, Sawmill LLC and Sawmill Community Land Trust partnered to create Sawmill Village, a mixed-use development which includes both residential and commercial uses with the intent to replace the Ponderosa Products site with a vibrant and active place for the Sawmill Community. You have witnessed this transformation through completion and occupancy of various phases.

This intent of reinvesting in the Sawmill area community with a dynamic mix of residential and neighborhood scale commercial uses remains the foundation for our current request to amend the existing Site Development Plan for Subdivision and Building Permit for the Phase 2 development. Phase 2 development includes two new, separate buildings. The request for subdivision is to divide the current parcel into two parcels: Tract 2-D-1A for Building A-1 and Tract 2-D-1B for Building A-2.

#### Tract 2-D-1A – Building A-1

Building A-1 will be a three-story, mixed use building with commercial / retail on the ground level. The two upper stories will be apartments: Eleven 2-bedroom apartments and two 1-bedroom apartments.

A majority of the ground-level of Building A-1 is anticipated to be leased by the National Institute of Flamenco (NIF). NIF is an established 501(c)3 arts organization; the mission of the National Institute of Flamenco is to preserve and promote flamenco's artistry, history, and culture by presenting the finest flamenco in the world and by educating our community in this art form while emphasizing the positive influence of art on family and community.



#### Tract 2-D-1B – Building A-2

Building A-2 is a two-story, approximately 43,000 sq. ft., facility anticipated to house Tierra Adentro: The New Mexico School of Academics, Art and Artesanía (TANM).

TANM is a state-chartered public school that has been in operation for six years. It currently serves approximately 275 students and is open to all students city-wide. The school has a community-based curriculum focusing on S-T-E-A-M (Science, Technology, Engineering, Arts and Mathematics) principals. TANM has several campuses along Central Avenue near the University of New Mexico.

#### Background: National Institute of Flamenco and Tierra Adentro: The New Mexico School of Academics, Art and Artesanía

In 2009, the founders of Tierra Adentro of New Mexico Charter School (TANM) saw an opportunity to collaborate with the National Institute of Flamenco (NIF), an Albuquerque based 501(c)3 non-profit arts organization, to create an integrated and vibrant learning environment with a socio-economic, demographic, and culturally diverse student population focusing on academics, art, artesanía, and the study of New Mexico's rich culture and history.

From the inception the school, of TANM and NIF have continued to deepen their relationship with various integrated in-school arts and academic curriculum, and through partnerships that develop after-school and mentorship programs utilizing NIF's diverse and established community resources. There is a symbiotic relationship of the highest quality, with NIF ensuring the diversity and level of instruction at TANM, along with each student's artistic and cultural experience.

As an organization that develops world-class Flamenco artists, choreographies, education, and cultural experiences, NIF is able to nurture young aspiring professionals who are interested in a career in the arts with a variety of experiences from the arts to non-profit business mentorships, and also develop new local talent that feeds into NIF's professional flamenco dance and musical programs.

NIF and TANM are at critical junctions in their organizations. For TANM, their major challenges are: (1) the inability to grow, in population and programming, due to the lack of space in their current location, and (2) the inability to expand into additional adjacent facilities within a safe walking distance to their central campus.

For NIF, an important component of their organization is their community-based curriculum and programming - the Conservatory of Flamenco Arts. In its current location near Central and University, it has been challenging for NIF to expand their outreach with classes and workshops after their previous community-based facility on Gold Avenue burned down in December of 2014.

By re-locating their new campus in the Sawmill neighborhood, both organizations will finally have the ability to bring comprehensive programming and educational experiences within the Sawmill community and the heart of Albuquerque. TANM will be more centrally located, will have easier access for student's families, and will provide an excellent educational option for Sawmill / Old Town area families for both 6-12 grade schooling and after-school programs. The

new facility will allow the school to offer a full breadth of courses within a single campus within the cultural and historical center of Albuquerque.


With the recent opening of NIF's Tablao within the Hotel Albuquerque and their continued contracts with the City of Albuquerque to provide performances in Old Town Plaza, NIF is already a significant presence in the Sawmill and nearby neighborhoods. The natural growth of the Conservatory's community curriculum will provide current and future students an expanded selection of courses and experiences which can only be accommodated in larger and flexible spaces. NIF will create a diverse calendar and ensure there is vibrant energy on the campus after the school day ends for all members of the community.

The proposed amendment brings in a cultural anchor to Sawmill Village and to the larger neighborhood via a premium New Mexico institution (NIF). Our request meets the goals and policies of the City of Albuquerque / Bernalillo County Comprehensive Plan, the Sawmill / Wells Park Sector Plan and the Metropolitan Redevelopment Area Plan, and previously-approved criteria for Sawmill Village Development (2010 approval).

We understand the Sawmill Community Land Trust will vote on the project, and we look forward to receiving a favorable outcome.

A copy of the amended site plan is attached for your review. If you have any comments or questions about this application request, do not hesitate to contact me at 505 843-7587 or 505 228-7418.

Respectfully,

  
\_\_\_\_\_  
Rupal S. Engineer, R.A.  
Design Plus, LLC

Enclosures: Proposed Site Plan

cc: Mona Angel, Sawmill Community Land Trust





7010 1060 0001 2343 0796

U.S. Postal Service<sup>TM</sup>  
**CERTIFIED MAIL<sup>TM</sup> RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE, NM 87104

Postage	\$2.38
Certified Fee	\$2.70
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$7.15

0110  
04

Postmark  
Here

SEP 28 2016

09/28/2016

Sent To

Sawmill Area N.A. "R"

Street, Apt. No.,  
or PO Box No.

Thomas Hopkins

City, State, ZIP+4

918 19<sup>th</sup> Street NW

Albuquerque, NM 87104

PS Form 3800, August 2006 See Reverse for Instructions

7010 1060 0001 2343 0819

U.S. Postal Service<sup>TM</sup>  
**CERTIFIED MAIL<sup>TM</sup> RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE, NM 87102

Postage	\$2.38
Certified Fee	\$2.70
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$7.15

0110  
04

Postmark  
Here

SEP 28 2016

09/28/2016

Sent To

Sawmill Area N.A. "R"

Street, Apt. No.,  
or PO Box No.

Devin H. Chapman

City, State, ZIP+4

520 Lomas Blvd. NW

Albuquerque, NM 87104

PS Form 3800, August 2006 See Reverse for Instructions



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Hearing Date:** Thursday, Nov. 10, 2016      **1005354**

**Zone Atlas Page:** H-13-Z - J-13-Z

**Notification Radius:** Neighborhood Associations  
100ft plus r.o.w

**Cross Reference and Location:** Eighteenth St. NW & Bellamah Ave. NW between  
Nineteenth St. NW & Eighteenth St. NW

**Applicant:**      Sawmill, LLC  
4528 Carlisle Blvd. NE  
Albuquerque, NM 87109

**Agent:**              Design Plus, LLC  
2415 Princeton Dr. NE Suite G-2  
Albuquerque, NM 87107

**Special Instructions:**

Notice must be mailed from the  
City 15 days prior to the meeting.

**Date Mailed:** 10/19/16

**Signature:**

*Geraldine Delgado*

CHESHIRE ERICKA L  
1828 ZEARING AVE NW  
ALBUQUERQUE NM 87104

CARON DONALD GENE JR  
1824 ZEARING AVE NW  
ALBUQUERQUE NM 87104

LEONARD BARBARA E  
1820 ZEARING AVE NW  
ALBUQUERQUE NM 87104

SAWMILL COMMUNITY LAND TRUST  
P. O. BOX 25181  
ALBUQUERQUE NM 87125

GURSKY JUDITH C & GURSKY PHILIP H  
223 EL VIENTO  
LOS ALAMOS NM 87544

TORRES RICK & ANGEL SULLIVAN  
1415 15TH ST NW  
ALBUQUERQUE NM 87104

PETERSON ELLEN C  
11600 JEWEL CAVE RD SE  
ALBUQUERQUE NM 87123

LYLE JAMES P & SYLVIA L  
1115 ROADRUNNER LN NW  
ALBUQUERQUE NM 87107

ACE LEADERSHIP HIGH SCHOOL FDN ATTN TORI  
STEPHANS-SHAUGER & VICTOR CHAVEZ  
1240 BELLAMAH AVE NW  
ALBUQUERQUE NM 87104

VALENCIA ALEJANDRA  
1421 15TH ST NW  
ALBUQUERQUE NM 87104

SAWMILL CROSSING LLC  
7400 HANCOCK CT NE SUITE B  
ALBUQUERQUE NM 87109-4592

SAWMILL COMMUNITY LAND TRUST (SCLT)  
PO BOX 25181  
ALBUQUERQUE NM 87125

AGUSTIN ELENA M  
1409 15TH ST NW  
ALBUQUERQUE NM 87104

RICHARDSON GREGORY T  
7336 BOXWOOD AVE NE  
ALBUQUERQUE NM 87113

BLANCHFIELD SEAN  
1423 15TH ST NW  
ALBUQUERQUE NM 87104

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103-2248

18TH ST MAB INVESTORS LLC % JOHN ANDREW  
JONES, ESQ  
1919 OLD TOWN RD NW SUITE 1  
ALBUQUERQUE NM 87104

TRUJILLO NOAH  
1716 BAND SAW PL NW  
ALBUQUERQUE NM 87104

SAWMILL COMMUNITY LAND TRUST  
PO BOX 25181  
ALBUQUERQUE NM 87125-5181

MOYE JAMES M & CAROL E  
1405 LUMBERTON DR NW  
ALBUQUERQUE NM 87104

HELLUMS EDMOND E  
3617 NORTH POLE LP NE  
RIO RANCHO NM 87144

SAIZ ANGELICA E  
1732 BAND SAW PL NW  
ALBUQUERQUE NM 87104

HENSS JULIA L & LINNAN THOMAS P  
1724 BAND SAW PL NW  
ALBUQUERQUE NM 87104

HEBENSTREIT LISA Z  
1600 CHESHIRE CT NW  
ALBUQUERQUE NM 87104

MONIE ANDREW MAURICE & THERESA  
LORRAINE MCINNES TR MONIE-MCINNES RVT  
1500 15TH ST NW  
ALBUQUERQUE NM 87104

SAWMILL 20TH ST LLC C/O HERITAGE HOTELS &  
RESORTS INC  
201 3RD ST NW SUITE 1150  
ALBUQUERQUE NM 87102

GUL-MOHAMMAD SADAF & DAVIS DON R  
1700 BANDSAW PL NW  
ALBUQUERQUE NM 87104

MONREAL FERNANDO  
928 AVENIDA MANANA NE  
ALBUQUERQUE NM 87104

WYKOFF JUDY  
1635 CHESHIRE CT NW  
ALBUQUERQUE NM 87104

POLANSKY BRIAN CHRISTOPHER  
1631 CHESHIRE CT NW  
ALBUQUERQUE NM 87104



FAULKNER SARAH  
1767 BAND SAW PL NW  
ALBUQUERQUE NM 87104

RAUPAGH J SUE  
1763 BAND SAW PL NW  
ALBUQUERQUE NM 87101

ANDRADE FRED & MCMAKEN JENNINE  
1132 SALINAS SE  
ALBUQUERQUE NM 87123

BAILLIE STEVEN M  
1755 BAND SAW PL NW  
ALBUQUERQUE NM 87104

RIVERHORSE INVESTMENTS LP  
2811 INDIAN SCHOOL RD NE  
ALBUQUERQUE NM 87106

ROBINSON TOUREE  
1747 BAND SAW PL NW  
ALBUQUERQUE NM 87104

MORRELL STEVEN A  
1712 BAND SAW PL NW  
ALBUQUERQUE NM 87104

CAIN WARREN DAVID  
1708 BANDSAW PL NW  
ALBUQUERQUE NM 87104

GOLDSTEIN KENNY & PEARL  
1771 BAND SAW PL NW  
ALBUQUERQUE NM 87104

MONTGOMERY-JONES HUGH F  
1720 BAND SAW PL NW  
ALBUQUERQUE NM 87104

SAWMILL CROSSING HOMEOWNERS ASSOC INC  
7400 HANCOCK CT NE SUITE B  
ALBUQUERQUE NM 87109

Sawmill Area N.A. "R"  
Devin H. Chapman  
520 Lomas Blvd. NW  
Albuquerque, NM 87104

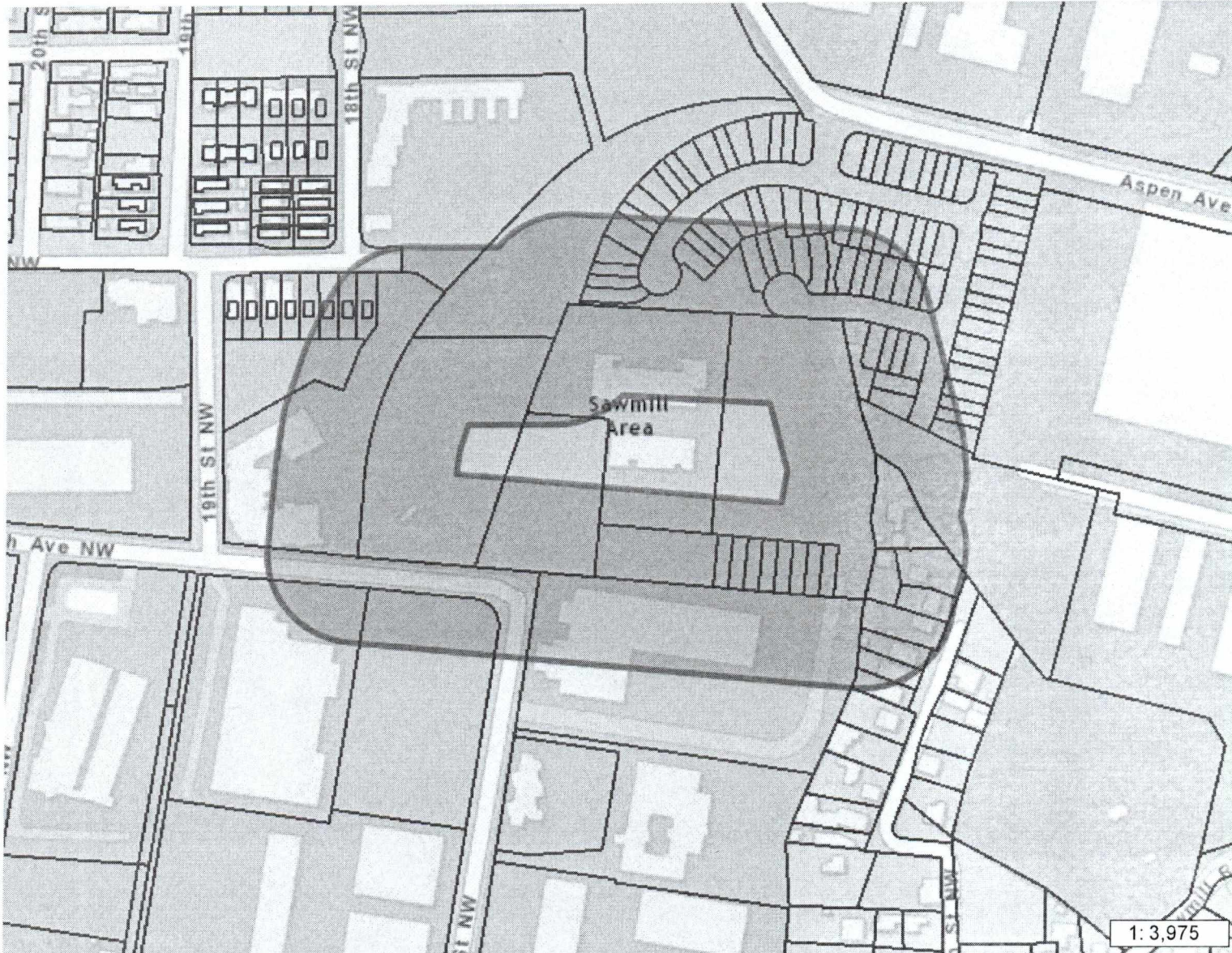
Sawmill Area N.A. "R"  
Thomas Hopkins  
918 19<sup>th</sup> St. NW  
Albuquerque, NM 87104

Sawmill, LLC  
4528 Carlisle Blvd. NE  
Albuquerque, NM 87109

Design Plus, LLC  
2415 Princeton Dr. NE Suite-G  
Albuquerque, NM 87107



1005354



### Legend

- ☐ Bernalillo County Parcels
- Municipal Limits**
  - Corrales
  - Edgewood
  - Los Ranchos
  - Rio Rancho
  - Tijeras
  - UNINCORPORATED
- World Street Map

### Notes

Buffer: 165 ft Bellamah Ave. NW  
65ft +100 ft

0.1 0 0.04 0.1 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
10/18/2016 © City of Albuquerque

This map is a user generated static output from [www.cabq.gov/gis](http://www.cabq.gov/gis) and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR LEGAL PURPOSES



## REDUCTIONS

- A. Currently proposed site development plan for building permit amendment
- B. Approved 2011 site development plan for Sawmill Village  
(including design standards)
- C. Approved administrative amendments (AAs)

## PROJECT DATA

ADDRESS: 18TH STREET AND BELLAMAH AVE NW  
ZONE ATLAS PAGE: H & J-13-2  
THE SITE

PHASE 1 (TOTAL) EXISTING DEVELOPMENT

LEGAL DESCRIPTION:

LOTS 1-10 WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO  
PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
ADDRESS: 1701 BELLAMAH AVE NW  
ZONING: SU-2/SU-1 FOR PRO  
ACREAGE: 7.4688

PARCEL #2 LEGAL DESCRIPTION:

LOT 2 WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO  
PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
ACREAGE: 1.2650

PHASE 2 - CURRENT REQUEST FOR SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT

ZONING: SU-2/SU-1 FOR PRO  
PARCEL #1 LEGAL DESCRIPTION: TRACT 2-D-1A OF THE ARBOLERA DE VIDA SUBDIVISION, UNIT 2B, ALBUQUERQUE, NEW MEXICO  
ACREAGE: 0.6411

PARCEL #2 LEGAL DESCRIPTION: TRACT 2-D-1B OF THE ARBOLERA DE VIDA SUBDIVISION, UNIT 2B, ALBUQUERQUE, NEW MEXICO  
ACREAGE: 1.87  
TOTAL ACREAGE FOR BOTH SITES: 2.5132

CROSS ACCESS AND DRAINAGE EASEMENTS PROVIDED

EXISTING AND PROPOSED USES:

SITE WAS DEVELOPED IN TWO PHASES AS MIXED-USE WITH HOUSING, RETAIL, AND ACTIVE SPACE (SMALL RENTAL SPACES FOR ARTISAN AND INCUBATOR OFFICE SPACE). PROPOSED PHASE 2 HAS BUILDING A1 WITH 3 STORY MIXED USE BUILDING WITH HOUSING, RETAIL, AND ACTIVE SPACES. BUILDING A2 IS PROPOSED AS A TWO STORY BUILDING WITH AN ARTS AND ACADEMICS FOCUSED CHARTER SCHOOL, TIERRA ADENTRO NEW MEXICO.

C1 AND C1 PERMISSIVE USE ALLOWED IN PRD UP TO 25% OF TOTAL GROSS FLOOR AREA OF DEVELOPMENT (25% OF 434,554 SF = 108,638 SF, THEREFORE WITHIN ALLOWABLE MAXIMUM).

## PEDESTRIAN INGRESS & EGRESS

THE EXISTING PUBLIC SIDEWALK AT ALONG 18TH STREET IS EXTENDED INTO THE SITE AND CONTIGUES THE LENGTH OF THE PROPERTY ALONG BELLAMAH. AT THE EAST SIDE OF THE SITE IS AN OPENING FOR A POTENTIAL CONNECTION WITH THE ADJACENT DEVELOPMENT. A PEDESTRIAN TRAIL IS CONNECTED TO THIS DEVELOPMENT. SIDEWALKS AND PLAZA AREAS PROVIDE FOR ON SITE CONNECTIVITY AND SEPARATION FROM VEHICULAR TRAFFIC.

## FUTURE BIKE PATH

AS PER THE PARKS AND RECREATION PLANNING AND DESIGN COMMENT FOR CONSIDERATION OF PEDESTRIAN AND BICYCLE ACCESS AND CONNECTIVITY WITHIN THE SITE FOR FUTURE TRAIL USE HAS BEEN IDENTIFIED ALONG THE WESTERN LANDSCAPE BOUNDARY WITH 8' WIDE LANDSCAPE AREA.

## VEHICULAR INGRESS & EGRESS

PRIMARY ACCESS IS FROM 18TH AND BELLAMAH. A POTENTIAL CONNECTION TO BELLAMAH IS PROVIDED ON THE EAST SIDE OF THE PROPERTY. REFER TO KEYED NOTE 5.

## INTERNAL CIRCULATION REQUIREMENTS

ACCESS IS VIA DRIVE ASSESS, 26' AND 24' WIDE. RADII AND PARKING SPACES ARE SHOWN ON THE SITE PLAN IN COMPLIANCE WITH THE CITY O.P.M. AN EMERGENCY VEHICLE PATH IS SHOWN FROM THE NORTH PARKING AREA ACROSS A ROLL-DOWN CURB AND THE PAVED PLAZA. THIS PLAN MEETS THE CRITERIA OF CITY TRAFFIC, FIRE MARSHALL, AND SOLID WASTE DEPARTMENT.

## OPEN SPACE (AS DEFINED IN ZONING CODE 14-16-1-5 AND PER ZONE 14-16-2-11-H)

EXISTING PHASE 1

REQUIRED: (40 UNITS @ 400 SF/UNIT) + (82 UNITS @ 500 SF/UNIT) + (63 UNITS @ 600 SF/UNIT) = 88,400 SF

PROVIDED: 125,326 SF (DOES NOT INCLUDE BALCONIES)

## PROPOSED FOR PHASE 2

REQUIRED: (11 UNITS @ 500SF/UNIT) + (2 UNITS @ 400 SF/UNIT) = 63,000 SF

PROVIDED: 45,500 SF (41% OF THE SITE AREA)

## MAXIMUM BUILDING HEIGHTS

BUILDING A1: 40' MAXIMUM - PROPOSED

BUILDING A2: 45' MAXIMUM - PROPOSED

BUILDING B: 45' MAXIMUM (EXISTING)

BUILDING C: NOT USED

BUILDINGS D1, D2, E1, E2, E3: 45' MAXIMUM (EXISTING)

TOWNHOMES F: 28' MAXIMUM (EXISTING)

## MINIMUM BUILDING SETBACKS (EXCLUDES INTERNAL PROPERTY LINES):

SOUTH: 5'; EAST: VARIES; INTERNAL PROPERTY LINE: NORTH: 30'; WEST: 30'

ACCESSORY BUILDINGS ALLOWED MINIMUM SETBACK OF 0' LOT LINE (14-16-3-3)

RESIDENTIAL DEVELOPMENT DENSITY:

DENSITY SHALL NOT EXCEED 20 DUS PER ACRE (PHASE 2 IS IN COMPLIANCE)

## Parking Calculation for Site Development Plan for Subdivision and for Building Permit

### PHASE 1 - EXISTING

Residential

Lot 2 Condominiums 20 80 1.0/Unit 1.0/Unit 2 30

Lot 1A Apartments 140 140 1.0/Unit 1.0/Unit 2 210

Lot 1B 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1C 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1D 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1E 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1F 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1G 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1H 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1I 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1J 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1K 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1L 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1M 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1N 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1O 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1P 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1Q 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1R 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1S 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1T 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1U 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1V 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1W 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1X 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1Y 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1Z 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AA 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AB 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AC 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AD 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AE 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AF 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AG 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AH 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AI 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AJ 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AK 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AL 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AM 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AN 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AO 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AP 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AQ 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AR 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AS 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AT 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AU 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AV 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AW 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AX 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AY 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1AZ 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BA 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BB 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BC 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BD 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BE 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BF 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BG 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BH 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BI 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BJ 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BK 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BL 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BM 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BN 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BO 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BP 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BQ 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BR 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BS 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BT 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BU 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BV 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BW 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BX 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BY 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1BZ 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CA 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CB 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CC 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CD 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CE 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CF 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CG 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CH 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CI 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CJ 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CK 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CL 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CM 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CN 10 10 1.0/Unit 1.0/Unit 2 10

Lot 1CO 10 10 1.0/Unit 1.0/Unit 2 10

## Building Data

PHASE 1

LOT 2 BUILDING B

LOT 1A BUILDING A

LOT 1B BUILDING B

LOT 1C BUILDING C

LOT 1D BUILDING D

LOT 1E BUILDING E

LOT 1F BUILDING F

LOT 1G BUILDING G

LOT 1H BUILDING H

LOT 1I BUILDING I

LOT 1J BUILDING J

LOT 1K BUILDING K

LOT 1L BUILDING L

LOT 1M BUILDING M

LOT 1N BUILDING N

LOT 1O BUILDING O

LOT 1P BUILDING P

LOT 1Q BUILDING Q

LOT 1R BUILDING R

LOT 1S BUILDING S

LOT 1T BUILDING T

LOT 1U BUILDING U

LOT 1V BUILDING V

LOT 1W BUILDING W

LOT 1X BUILDING X

LOT 1Y BUILDING Y

LOT 1Z BUILDING Z

LOT 1AA BUILDING AA

LOT 1AB BUILDING AB

LOT 1AC BUILDING AC

LOT 1AD BUILDING AD

LOT 1AE BUILDING AE

LOT 1AF BUILDING AF

LOT 1AG BUILDING AG

LOT 1AH BUILDING AH

LOT 1AI BUILDING AI

LOT 1AJ BUILDING AJ

LOT 1AK BUILDING AK

LOT 1AL BUILDING AL

LOT 1AM BUILDING AM

LOT 1AN BUILDING AN

LOT 1AO BUILDING AO

LOT 1AP BUILDING AP

LOT 1AQ BUILDING AQ

LOT 1AR BUILDING AR

LOT 1AS BUILDING AS

LOT 1AT BUILDING AT

LOT 1AU BUILDING AU

LOT 1AV BUILDING AV

LOT 1AW BUILDING AW

LOT 1AX BUILDING AX

LOT 1AY BUILDING AY

LOT 1AZ BUILDING AZ

LOT 1BA BUILDING BA

LOT 1BB BUILDING BB

LOT 1BC BUILDING BC

LOT 1BD BUILDING BD

LOT 1BE BUILDING BE

LOT 1BF BUILDING BF

LOT 1BG BUILDING BG

LOT 1BH BUILDING BH

LOT 1BI BUILDING BI

LOT 1BJ BUILDING BJ

LOT 1BK BUILDING BK

LOT 1BL BUILDING BL

LOT 1BM BUILDING BM

LOT 1BN BUILDING BN

LOT 1BO BUILDING BO

LOT 1BP BUILDING BP

LOT 1BQ BUILDING BQ

LOT 1BR BUILDING BR

LOT 1BS BUILDING BS

LOT 1BT BUILDING BT



# 1 CONCEPTUAL SITE PLAN

1" = 20'

BELLAHMAH AVE

TO 18TH STREET

BUILDING A2

BUILDING A1

BUILDING B

## GENERAL NOTES

- PHASE II WILL BE CONSTRUCTED IN TWO STAGES:  
- PHASE I-A: BUILDING A1 AND RELATED SITE WORK  
- PHASE I-B: BUILDING A2 AND RELATED SITE WORK
- PHASE I: ALL DEVELOPMENT ON LOTS 1-10
- SEE PLAT FOR ALL EASEMENTS

## KEYED NOTES

- PROPERTY LINE, TYP.
- PROPOSED LOT LINE, TYP.
- NEW SITE DRIVE PER COA STD. DWG. 2426
- EXISTING DRAINAGE POND, SEE CONCEPTUAL GRADING & DRAINAGE PLAN
- EXISTING SIDEWALK TO REMAIN
- CONCRETE SIDEWALK, 6' WIDE MINIMUM (SEE PLAN), PER COA STD. DWG. 2430
- ASPHALT DRIVE, AISLE AND PARKING SPACES
- PUBLIC FIRE HYDRANT
- 18" X 18" EXPOSED ARCHITECTURAL CONCRETE SEATING WALL
- LANDSCAPING, TYP. (SEE LANDSCAPE PLAN SDP 2.0)
- 18" X 18" STOP SIGN PER COA STANDARDS
- MONUMENT SIGN AT 4TH SITE WALL, REFER TO D4/SDP 1.2
- 4TH SITE WALL LAYOUT PER PLAN, REFER TO D4/SDP 1.2, SIMILAR WITHOUT ARCHITECTURAL LETTERS
- DECORATIVE PAVING, SCORED/STAMPED IN BRICK PATTERN, COLOR: GRAY
- FIRE LINE BACKFLOW PREVENTER AND HOT BOX, REFER TO SDP 4.0 UTILITY PLAN
- EXISTING BELOW GRADE ELECTRICAL VAULT
- BUILDING OVERHANGS ABOVE
- PLAZA WITH DECORATIVE PAVING AND LANDSCAPING
- EXISTING RELOCATED STEEL SAWDUST HOPPER & STAGE
- ACCESSIBLE PARKING SPACE, 8' W. X 20' L. SPACE WITH 6' W. AISLE
- ACCESSIBLE VAN PARKING, 9' W. X 20' L. SPACE WITH 9' W. AISLE
- STANDARD PARKING SPACE, 8' W. X 20' L. TYP. (18' L. WHERE PERIMETER LANDSCAPE STRIP)
- BUILDING ON ADJACENT PROPERTY (MORE THAN 20' FROM PROPERTY LINE)
- MOTORCYCLE SPACE, 4' W. X 8' L. MIN. TYP.
- COMPACT PARKING SPACE, 8' W. X 15' L. TYP. PAINT "SMALL CAR SPACE" ON PAVEMENT
- DOUBLE REFUSE CONTAINERS, ENCLOSURE AND CONCRETE APRON, REFER TO C4/SDP 1.2
- PROVIDE "NO PARKING" LETTERING PER NMMA 1978 SECTION 66-1-4.1.B
- CMU WALL, PARTI ENCLOSURE, 6" MAXIMUM TYP. CMU WALL WITH BURNISHED FINISH, COLOR: "BOULDER" BY UTILITY BLOCK COMPANY
- ACCESSIBLE PARKING SIGNS, MOTORCYCLE PARKING SIGNS, OR BICYCLE PARKING SIGNS, REFER TO C5/SDP 1.2
- LANDSCAPE BUFFER WITH 6" PLANTED OPEN FENCING, WIDTH VARIES, 5' MINIMUM
- EXISTING POWER POLE TO REMAIN
- GRAVEL WITH ROLL-UP CURB FOR EMERGENCY VEHICLE TRAFFIC
- BICYCLE RACK, REFER TO DETAIL D3/SDP 1.2
- NOT USED
- NOT USED
- PER MRGOC's 2040 LONG RANGE BIKWAY SYSTEM MAP, A NEW PROPOSED UNPAVED BIKE ROUTE RUNS ALONG THE WEST PROPERTY LINE OF THE SITE. APPROPRIATE SIGNAGE WILL BE INCORPORATED IN DISCUSSION WITH THE AUTHORITY HAVING JURISDICTION.
- 12" L. MOUNTABLE ROLL CURB FOR UTILITY VEHICLE ACCESS
- CONCRETE WHEEL STOP
- DEDICATED BACK-UP SPACE (NO PARKING)
- CURB AND GUTTER, 2' W. PLANTING STRIP AND 6' W. SIDEWALK
- 1:12 SLOPE SIDEWALK RAMP MIN. 4' WIDE WITH TRUNCATED DOME SURFACE TEXTURE FOR VISUALLY IMPAIRED INDIVIDUALS
- METAL GUARD RAIL, 42" H. COLOR: SILVER/GRAY, MATTE FINISH
- EXISTING RAILROAD TRACKS
- OPEN METAL VERTICAL TRELLIS CABLES WITH VINES
- LIGHT POLE, TYPE "W", REFER TO SDP 1.2 FOR HEIGHT
- LIGHT POLE, TYPE "P", REFER TO SDP 1.2 FOR HEIGHT
- LIGHT POLE, TYPE "R", REFER TO SDP 1.2 FOR HEIGHT
- NOT USED
- RAMP WITH TRUNCATED DOMES PER COA STD. DWG. 2426, 1:12 MAX. SLOPE
- 3H X 18" W. X 1L NATURAL STEEL MODULAR PLANTER BOXES WITH SEALED FINISH
- 4H METAL FENCE WITH 3W GATE, REFER TO A1/SDP 1.2
- 12W X 6H METAL SWING GATE SIMILAR TO NEW REFUSE ENCLOSURE GATES, DETAIL C4/SDP
- 12W METAL PIPE GATE FOR UTILITY/MAINTENANCE VEHICLE ACCESS TO THE POND AREA
- NEW POST INDICATOR VALVE AND FIRE DEPARTMENT CONNECTION



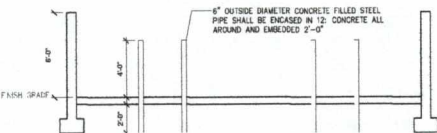
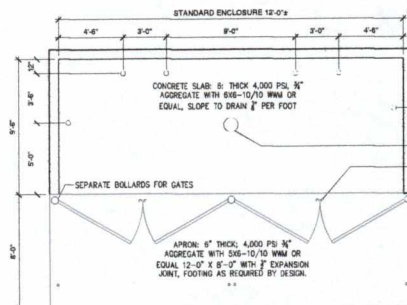
2415 PRINCETON DR., NE, SUITE C-2  
ALBUQUERQUE, NM 87109  
505.943.7387  
WWW.DESIGNPLUSLLC.COM  
**DESIGN PLUS LLC**

SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT AND SUBDIVISION  
AMENDMENT  
BELLAMAH AVE NW AND 18TH ST  
ALBUQUERQUE, NM

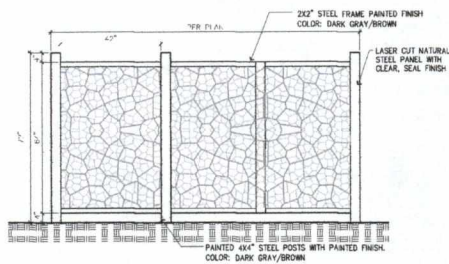
DATE: 9/29/16  
REVISIONS  
  
CAD DWG FILE:  
DRAWN BY: LS  
CHECKED BY: RSE  
COPYRIGHT:  
DESIGN PLUS, LLC  
SHEET TITLE

ENLARGED SITE PLAN

V.2  
SDP 1.1  
SHEET 01 OF 01



**REFUSE ENCLOSURE DETAILS**  
1/4" = 1'-0"



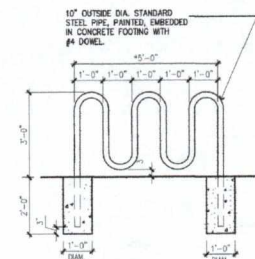
**6' H FENCE AND GATE**  
1/2" = 1'-0"

DIMENSIONS GIVEN ARE TO THE INSIDE OF ENCLOSURE WALLS AND THE MINIMUM SIZES REQUIRED FOR THE SLAB ITSELF. FOOTING WILL VARY WITH THE DESIGN OF THE ENCLOSURE.

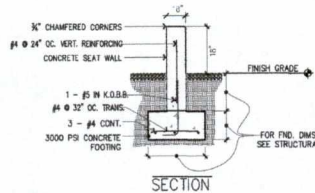
SIDE BOLLARDS MAY BE REQUIRED. BOLLARDS ARE TO BE 6" FROM WALL.

SANITARY DRAIN

HOLES IN APRON FOR GATE PIN



**BIKE RACK DETAIL**  
1/2" = 1'-0"

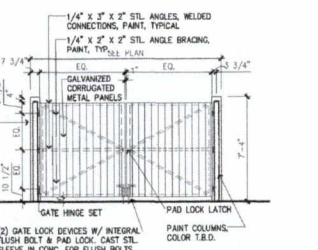


**SEAT WALL DETAIL**  
1/2" = 1'-0"

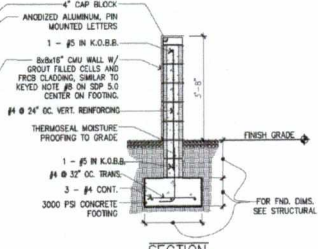


SEE SITE PLAN

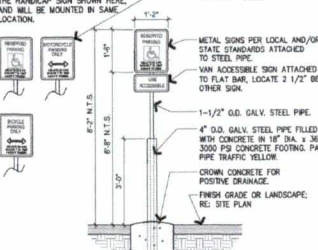
**MONUMENT SIGN**  
1/2" = 1'-0"



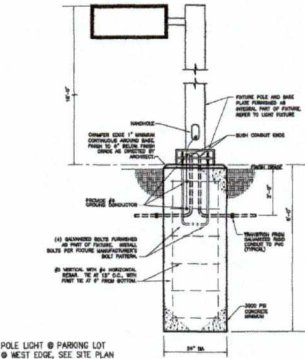
**REFUSE ENCLOSURE GATE TYPICAL**  
1/4" = 1'-0"



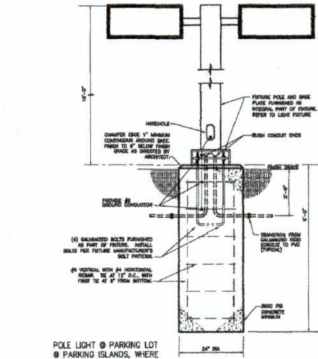
**PARKING SIGNS**  
1/2" = 1'-0"



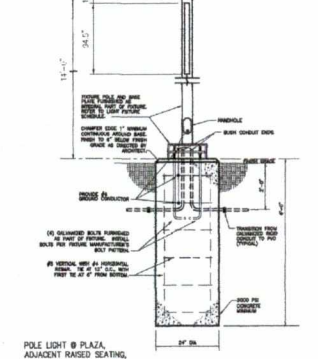
**PARKING SIGNS**  
1/2" = 1'-0"



**TYPE 'X' MOUNTING DETAIL**  
3/4" = 1'-0"



**TYPE 'Y' MOUNTING DETAIL**  
3/4" = 1'-0"



**TYPE 'Y' MOUNTING DETAIL**  
3/4" = 1'-0"

2415 WASHINGTON DR. AS SITE C-2  
2415 WASHINGTON DR. AS SITE C-2  
505 843 7587  
www.designplusllc.com

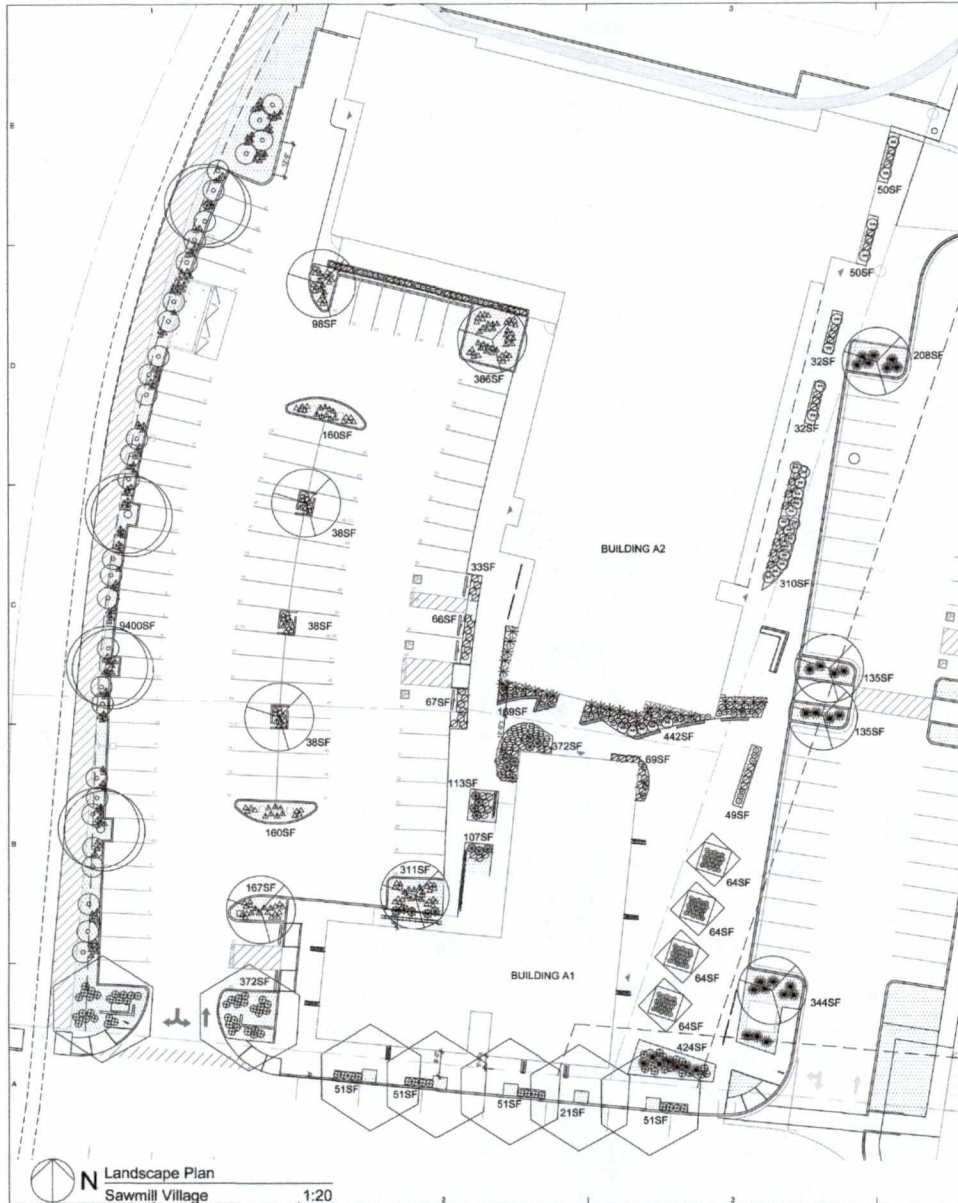
**DESIGN PLUS LLC**

DATE: 9/29/16  
REVISIONS

CAD DWG FILE:  
DRAWN BY: LS  
CHECKED BY: RSE  
COPYRIGHT:  
DESIGN PLUS, LLC  
SHEET TITLE

SITE DETAILS  
V.2  
SDP 1.2  
SHEET 07





#### PLANT LEGEND

SYMBOL	QTY	INSTALLED SIZE	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER USE
4	2"	Gal	THORNTON HONEY LOCUST	Gleditsia triacanthos var. inermis	30.00	30.00	Medium Water Use
7	2"	Gal	RED TEXAS OAK	Quercus texana	30.00	30.00	Medium Water Use
4	30"	Box	CHASTE TREE	Viburnum chinensis	20.00	18.00	Low Water Use
10	2"	Gal	CHILTEPA	Catalpa bignonioides	25.00	25.00	Medium Water Use
SYMBOL	QTY	INSTALLED SIZE	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER USE
32	1"	Gal	FENDLER'S BARBERIS	Berberis fendleri	7.00	7.00	Low Water Use
18	1"	Gal	ARP ROSEMARY	Rhamnus 'Ac'?	3.00	3.00	Low Water Use
SYMBOL	QTY	INSTALLED SIZE	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER USE
117	1"	Gal	PRAIRIE DROPSIDE	Sporobolus heterophyllus	2.00	2.00	Low Water Use
79	1"	Gal	REGAL MIST	Muhlenbergia capillaris	2.50	2.50	Low Water Use
103	3"	Gal	MULHILL GRASS	Muhlenbergia rigens	4.00	2.50	Low Water Use
SYMBOL	QTY	INSTALLED SIZE	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER USE
32	5"	Gal	RED TEXAS YUCCA	Hesperaloe parviflora	2.50	4.00	Low Water Use
SYMBOL	QTY	INSTALLED SIZE	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER USE
86	1"	Gal	MEXICAN EVENING PRIMROSE	Oenothera speciosa	1.00	1.50	Low Water Use
26	1"	Gal	FOUR O'CLOCKS	Moribella multiflora	1.50	4.00	Low Water Use
110	1"	Gal	GAURA	Gaura lindheimeri	2.80	2.00	Low Water Use
19	1"	Gal	MAXIMILIANS SUNFLOWER	Helianthus maximiliani	6.00	4.00	Low Water Use
32	1"	Gal	MOONSHINE YARROW	Achillea 'Moonshine'	2.00	2.00	Low Water Use
59	1"	Gal	RED YARROW	Achillea 'Red Beauty'	2.00	2.00	Low Water Use
SYMBOL	QTY	INSTALLED SIZE	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER USE
31	1"	Gal	SILK VINE	Pariploca gracilis	30.00	3.00	Low Water Use
28	1"	Gal	TRUMPET VINE	Campsis radicans	30.00	3.00	Low Water Use

#### LEGEND

SYMBOL	AREA	DESCRIPTION
No Symbol	14,833SF	Planting beds with rock mulch to be installed at 3" depth over filter fabric. Type: Earth tone or equal.

#### GENERAL NOTES

- Contact the local underground utility services for utility location and identification.
- Refer to civil engineer's utility, assessment and grading plans for utility location, existing and proposed easements and grading.
- See site plan for descriptions of elements such as site furnishings, paving materials and other site elements.

#### IRRIGATION NOTES

- Irrigation design shall comply with the intent of the City of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance.
- Installation and maintenance of irrigation shall be the responsibility of the property owner.
- The irrigation system shall be operated with a fully automated smart controller. Run times shall be adjusted according to season, location, and plant performance. Crop emitters shall be used for all plant material.
- The contractor shall design an irrigation system to permanently irrigate the planting plan as noted. The plan shall include a piping and emitter layout, piping sizing, valve locations, valve schedule and construction details. The contractor shall submit the irrigation system design to the architect for approval prior to installation.
- Emitters to be placed uphill from plant center.
- Piping: Minimum allowable PVC size is 3/4". All lateral piping to be schedule 40 class pipe.
- Emitters to be placed uphill from plant center.
- Emitter quantities and flow rates as follows:  
Trees: quantity 5 emitters @ 2gph each  
Shrub: quantity 2 emitters @ 2gph each  
Ornamental Grasses, Perennials, Acaecis: quantity 1 emitter @ 2gph each

#### PLANTING NOTES

- The design intent of the planting plan reflects a regionally appropriate and water wise selection of plant material with year round interest. The design is a collaboration between the architecture and the site to create a sense of place for the Terra Avon School and the National Institute of Flamenco located in the Saenari Community Land Trust. Trees are optimally located for shade and street tree benefit in combination with ornamental grasses, perennials and flowering perennials for color.
- Planting plan complies with the City of Albuquerque's Water Conservation, Landscaping and Water Waste Ordinance, and section 14-16-5-10 of the City of Albuquerque's General Regulations.
- Planting plan complies with the City of Albuquerque's clear sight triangle at all street corners as per section 8-2-2-15 of the Traffic Code, and section 14-16-1-5 of the Zoning Code.
- Street Trees meet the requirements of the City of Albuquerque's Zoning Code section 14-16-3-10 Street Trees.
- As per the Parks and Recreation Planning and Design comment for consideration of pedestrian and bicycle access and connectivity within the site for future trail use has been identified along the western landscape boundary with a 8' wide landscape area.
- Contractor shall verify plant counts and species footages. This information is provided as information only. If quantities on plant list differ from plan indications, plan quantities shall prevail.
- Exact location of plant material shall be approved by architect in the field prior to installation. The architect reserves the right to adjust plant placement in the field.
- Biological soil amendment such as Soil Secrets or approved equal shall be applied over planting pits during installation and again after the warranty period. Amendment quantities based on two applications shall be determined as follows:  
Each Tree: 75.5SF  
Each 1 Gallon Plant: 28SF  
Each 1 Gallon Plant: 12SF
- Plants shall bear the same relation to finished grade as in original nursery condition.
- All landscaped areas shall be covered with rock mulch and filter fabric in order to minimize weed growth, add visual interest and protect soil moisture. See Legend.
- Planting beds shall achieve a minimum 75% live vegetation coverage upon plant maturity as per City of Albuquerque requirements.

#### LANDSCAPE CALCULATIONS

PHASE TWO AREA: 109,475SF  
 BUILDING A1 FOOTPRINT AREA: 7731SF  
 BUILDING A2 TOTAL AREA: 23,103SF  
 BUILDING A2 FOOTPRINT AREA: 25,084SF  
 BUILDING A2 TOTAL AREA: 43,406SF  
 NET SITE AREA: 75,660SF

REQUIRED LANDSCAPE AREA: 11,406SF (15% OF NET LOT AREA)  
 PROVIDED LANDSCAPE AREA: 14,833SF  
 PROVIDED HIGH WATER USE TURF AREA: 6SF (8%)

TREES PER PARKING SPACES REQUIRED: 1 TREE/10 PKG SPACES  
 TOTAL NUMBER OF PARKING SPACES: 81 SPACES  
 REQUIRED NUMBER OF PARKING LOT TREES: 8  
 PROVIDED NUMBER OF PARKING LOT TREES: 12

2415 PRINCETON DR. NE. SUITE G-2  
 ALBUQUERQUE, NM 87107  
 505.543.7587  
 www.designplusllc.com

**DESIGN PLUS LLC**

The New Mexico Water Collaborative  
 1751 Bellamah NW, #1101  
 Albuquerque, NM 87104

SITE DEVELOPMENT PLAN  
 PERMIT AND SUBDIVISION AMENDMENT  
 SAWMILL VILLAGE  
 BELLAMAH AVE NW AND 18TH ST  
 ALBUQUERQUE, NM

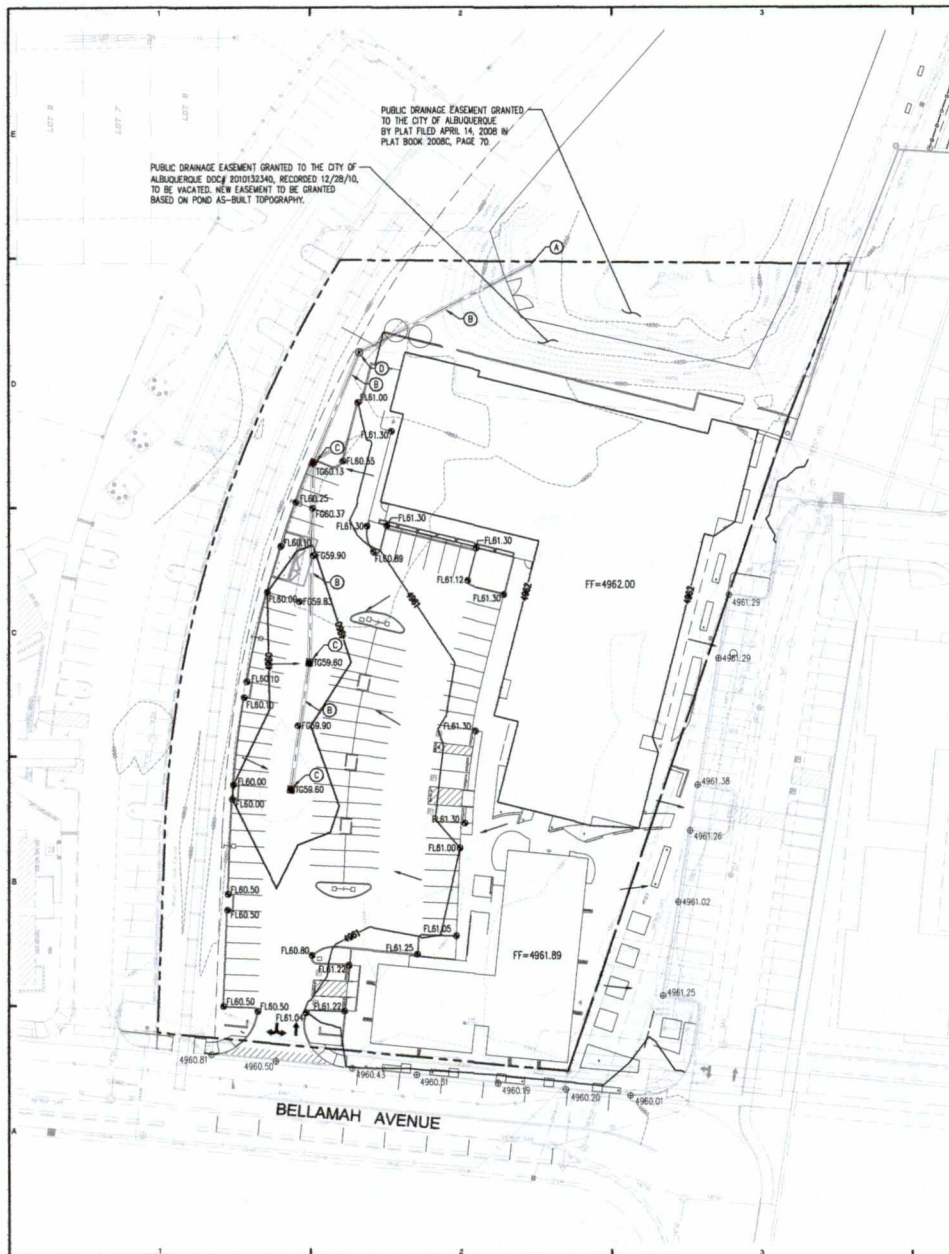
DATE: 6/29/16  
 REVISIONS

DRAWN BY: ML, YT  
 CHECKED BY: YT

SHEET TITLE

LANDSCAPE PLAN

V.2  
 SDP 2.0  
 SHEET 1 OF 3



- KEYED NOTES**
- (A) DAYLIGHT PRIVATE STORM DRAIN TO POND WITH RIP RAP BLANKET
  - (B) PRIVATE STORM DRAIN
  - (C) TYPE D INLET
  - (D) PRIVATE STORM DRAIN MANHOLE



**GRADING AND DRAINAGE NARRATIVE**

THE EXISTING SITE GRADING IS RELATIVELY FLAT. THE SLOPE ACROSS THE SITE IS LESS THAN 1%, GENERALLY FROM EAST TO WEST. NO MAJOR CHANGES FROM THE EXISTING GRADES ARE PROPOSED WITH THIS PROJECT. THE SITE WILL BE GRADED TO ESTABLISH THE BUILDINGS SLIGHTLY ABOVE THE EXISTING GRADES, WITH SURFACE AND SUBSURFACE DRAINAGE AROUND THE BUILDINGS. THE ENTIRE SITE WILL DRAIN TO A DETENTION POND LOCATED NORTH OF SITE. THE POND IS AN EXISTING FACILITY WHICH WAS SIZED TO ACCEPT FLOWS FROM THE SITE AS PART OF THE EXISTING SAMMILL MASTER DRAINAGE PLAN AREA.

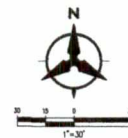
THE POND WAS ENLARGED TO ACCEPT THE DEVELOPED DRAINAGE FROM THIS SITE AS PART OF THE SAMMILL VILLAGE PHASE 1 PROJECT. (PLEASE REFER TO CDA HYDROLOGY FILE NUMBER M13/0025A FOR THE APPROVED DRAINAGE MANAGEMENT PLAN AND GRADING PLAN WHICH CONSTRUCTED THESE IMPROVEMENTS).

THE MAJORITY OF THE SITE WILL DRAIN TO THE POND VIA A PRIVATE STORM DRAIN. A SMALL PORTION OF THE SITE WILL DRAIN TO THE PARKING AREA EAST OF THE BUILDINGS, WHICH DRAINS TO THE POND VIA AN EXISTING STORM DRAIN SYSTEM. A SMALL PORTION OF THE SITE WILL DRAIN TO THE POND VIA SURFACE FLOW.

THE POND IS SIZED FOR FULL RETENTION OF THE 100 YEAR STORM, HOWEVER THERE IS A SMALL EXISTING "BLEED" LINE TO THE EXISTING PUBLIC STORM DRAIN IN BELLAMAH, WHICH ALLOWS THE POND TO COMPLETELY DRAIN OVER AN ACCEPTABLE TIME.

THE BOTTOM OF THE POND IS BELOW THE STORM DRAIN OUTLET. THERE IS SUFFICIENT DEAD STORAGE VOLUME TO ACCOMMODATE THE FIRST FLUSH FROM THE SITE.

- LEGEND**
- PROPERTY LINE
  - - - EXISTING CONTOURS
  - EXISTING GROUND SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - TOP OF CURB, FL=FLOW LINE
  - TOP OF WALL, BW=BOTTOM OF WALL
  - EX=EXISTING, TO=TOP OF GRADE
  - FGH=FINISH GROUND HIGH SIDE
  - FLQ=FINISH GROUND LOW SIDE
  - PROPOSED DIRECTION OF FLOW
  - WATER BLOCK
  - PROPOSED INDEX CONTOURS
  - PROPOSED INTER CONTOURS
  - PROPOSED STORM DRAIN INLET
  - PROPOSED MANHOLE
  - EXISTING MONUMENT



**Bohannon & Huston**  
www.bhinc.com 800.877.5332

2415 PRINCETON DR. NE, SUITE G-2  
ALBUQUERQUE, NM 87110  
505.943.7597  
www.designplusllc.com

**DESIGN PLUS LLC**

SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT AND SUBDIVISION AMENDMENT  
Sammill Village  
Bellamah Ave NW and 18th St  
Albuquerque, NM

DATE: 9/29/16

REVISIONS


CAD DWG FILE:

DRAWN BY:

CHECKED BY:

COPYRIGHT:

SHEET TITLE

CONCEPTUAL

GRADING PLAN

V.2

SHEET SDP 3.0





# UTILITY NOTES

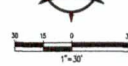
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT, PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STABILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REACHED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE APWD UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PROXIMA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAN LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL PREPARE ALL SUBMITTALS MATERIALS & PAY APPLICABLE FEES REQUIRED TO OBTAIN THE "NEW WORK ORDER" REQUIRED FOR CONNECTION TO THE EXISTING CITY WATER MAIN AND OTHER "PUBLIC" WATER LINE CONSTRUCTION.

## LEGEND

---	PROPERTY LINE
---	EX SANITARY SEWER & MANHOLE
---	EX STORM DRAIN & MANHOLE
---	EX WATER LINE
⋈	RELOCATED PUBLIC FIRE HYDRANT
⋈	EX FIRE HYDRANT
⋈	PRIVATE FIRE HYDRANT
⋈	PROPOSED CLEANOUT
⋈	PROPOSED SANITARY SEWER MANHOLE
⋈	PROPOSED SANITARY SEWER
⋈	PROPOSED WATERLINE
⋈	PROPOSED FIRELINE
⋈	WATER METER VAULT

## WATER KEYED NOTES

1. EXISTING PUBLIC FIRE HYDRANT TO REMAIN.
2. EXISTING 8" CAST IRON WATER LINE TO REMAIN.
3. 2" WATER METER.
4. INSTALL P.V.V.
5. INSTALL BACKFLOW PREVENTER IN HOT BOX.
6. INSTALL PUBLIC FIRE HYDRANT.
7. STUB TO WITHIN 5' OF BUILDING.
8. CONNECT GAS SERVICE TO EXISTING SERVICES CONSTRUCTED UNDER COA WORK #017585.



**Bohannon & Huston**  
www.bhnc.com 800.877.5332

2415 PRINCETON DR. NE, SUITE C-2  
ALBUQUERQUE, NM 87110  
505.848.7587  
www.designplusllc.com

DESIGN PLUS LLC

SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT AND SUBDIVISION AMENDMENT  
SANDMILL VILLAGE  
BELLAMAH AVE NW AND 18TH ST  
ALBUQUERQUE, NM

DATE: 8/26/16

REVISIONS


CAD DWG FILE:

DRAWN BY:

CHECKED BY:

COPYRIGHT:

SHEET TITLE

CONCEPTUAL

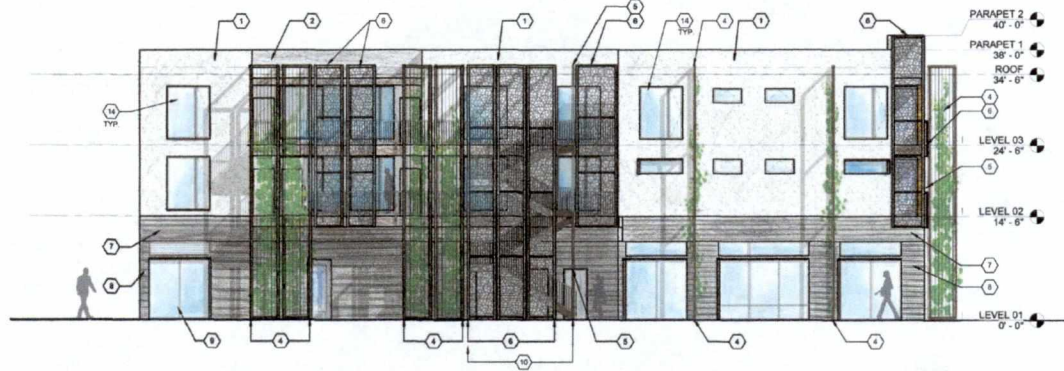
UTILITY PLAN

V.2

SHEET SDP 4.0



**D2 EAST ELEVATION**  
1/8" = 1'-0"

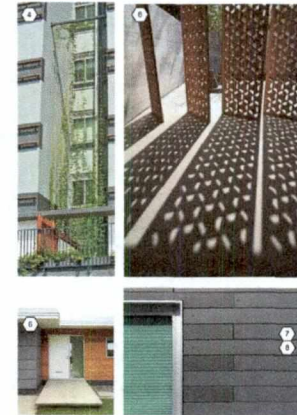


**B2 WEST ELEVATION**  
1/8" = 1'-0"



# REFERENCE KEYED NOTES

- 1 STUCCO FINISH COLOR #1: BENJAMIN MOORE 2129-70 SILVER CLOUD.
- 2 STUCCO FINISH COLOR #2: BENJAMIN MOORE 2134-50 GULL WING GRAY.
- 3 STUCCO FINISH COLOR #3: BENJAMIN MOORE 769 BKY BLUE.
- 4 VERTICAL STEEL CABLE GREEN TRELLIS REFER TO ILLUSTRATIVE PHOTO. CABLE'S SPAN VERTICALLY IN TUBE STEEL STRUCTURE WITH PAINTED FINISH. COLOR TO BE LIGHT GREY.
- 5 EXPOSED PAINTED TUBE STEEL STRUCTURE. COLOR TO BE MEDIUM WARM GREY.
- 6 DECORATIVE EXPOSED STEEL "MOMIE" SCRM. REFER TO ILLUSTRATIVE PHOTO. FINISH TO BE NATURAL. RUSTED STEEL WITH CLEAN SEALS. THE SCRM IS USED AS BALCONY GUARD RAILS AS WELL AS VERTICAL FINS OVERHEAD TRELLIS & SHADING COMPONENTS THROUGHOUT THE EXTERIOR OF THE BUILDING. THE SCRM WILL BE MOUNTED ON EXPOSED 2X TUBE STEEL FRAME WITH PAINTED FINISH. COLOR TO BE DARK GREY/BLACK.
- 7 2" H FIBER REINFORCED CEMENT BOARD CLADDING-COLOR WARM DARK GREY. SEE ILLUSTRATIVE PHOTO.
- 8 4" H FIBER REINFORCED CEMENT BOARD CLADDING-COLOR WARM DARK GREY. SEE ILLUSTRATIVE PHOTO.
- 9 ALUMINUM STOREFRONT-CLAR ANODIZED FINISH WITH LOW E GLAZING (NO TINT).
- 10 STAIRCASE BEYOND.
- 11 6" H EXPOSED EXTERIOR WOOD CLADDING-COLOR: WARM WALNUT. SEE ILLUSTRATIVE PHOTO.
- 12 SHADE OVERHANG @ EXTERIOR STOREFRONT (LOWER LEVEL): EXPOSED METAL "MOMIE" SCRM WITH NATURAL RUSTED FINISH OVER 4X TUBE STEEL STRUCTURE WITH PAINTED FINISH. COLOR TO BE DARK GREY/BLACK.
- 13 40TH METAL GUARD RAIL. PAINTED FINISH. COLOR TO BE DARK WARM GREY.
- 14 CLAD WOOD WINDOW. COLOR TO BE WHITE.



2415 PRINCETON DR. NE. SUITE C-2  
ALBUQUERQUE, NM 87109  
(505) 479-8191  
WWW.DESIGNPLUSLLC.COM

DESIGN PLUS LLC

SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT AND SUBDIVISION AMENDMENT  
SAVHILL VILLAGE  
BELLAMAH AVENUE AND 18TH STREET  
ALBUQUERQUE, NM

DATE: 9/26/16

REVISIONS

PROJECT NO: Project Number

CAD DWG FILE

DRAWN BY: Author

CHECKED BY: Checker

COPYRIGHT:  
DESIGN PLUS, LLC

SHEET TITLE

EXTERIOR  
ELEVATIONS

SDP-5.0 V2





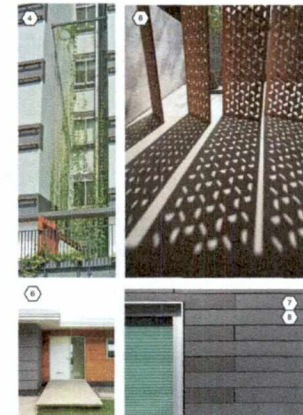
**D2 SOUTH ELEVATION**  
1/8" = 1'-0"



**B2 NORTH ELEVATION**  
1/8" = 1'-0"

# REFERENCE KEYED NOTES

- 1 STUCCO FINISH COLOR #1: BENJAMIN MOORE 2129-70 SILVER CLOUD
- 2 STUCCO FINISH COLOR #2: BENJAMIN MOORE 2134-50 GULL WING GRAY
- 3 STUCCO FINISH COLOR #3: BENJAMIN MOORE 789 SKY BLUE
- 4 VERTICAL STEEL CABLE GREEN TRELLIS REFER TO ILLUSTRATIVE PHOTO. CABLES SPUN VERTICALLY IN TUBE STEEL STRUCTURE WITH PAINTED FINISH. COLOR TO BE LIGHT GREY.
- 5 EXPOSED PAINTED TUBE STEEL STRUCTURE. COLOR TO BE MEDIUM WARM GRAY.
- 6 DECORATIVE EXPOSED STEEL "SCRIE" SCRM. REFER TO ILLUSTRATIVE PHOTO. FINISH TO BE NATURAL. PAINTED STEEL WITH CLEAN BEADLES. THE SCRM IS USED AS BALCONY GUARD RAILS AS WELL AS VERTICAL FINS. OVER-HEAD TRELLIS & SHADING COMPONENTS THROUGHOUT THE EXTERIOR OF THE BUILDING. THE SCRM WILL BE MOUNTED ON EXPOSED 2X TUBE STEEL FRAME WITH PAINTED FINISH. COLOR TO BE DARK GREY/BROWN.
- 7 #11 REBAR REINFORCED CEMENT BOARD CLADDING-COLOR: WARM DARK GRAY. SEE ILLUSTRATIVE PHOTO.
- 8 #11 REBAR REINFORCED CEMENT BOARD CLADDING-COLOR: WARM DARK GRAY. SEE ILLUSTRATIVE PHOTO.
- 9 ALUMINUM STOREFRONT- CLEAR ANODIZED FINISH WITH LOW E GLAZING AND TINT.
- 10 STAIRCASE BEYOND
- 11 8TH EXPOSED EXTERIOR WOOD CLADDING- COLOR: WARM WALNUT. SEE ILLUSTRATIVE PHOTO.
- 12 SHADE OVERHANG @ EXTERIOR STOREFRONT (LOWER LEVEL) EXPOSED METAL "SCRIE" SCRM WITH NATURAL, PAINTED FINISH OVER 4X TUBE STEEL STRUCTURE WITH PAINTED FINISH. COLOR TO BE DARK GREY/BROWN.
- 13 42H METAL GUARD RAIL. PAINTED FINISH. COLOR TO BE DARK WARM GRAY.
- 14 CLAD WOOD WINDOWS. COLOR TO BE WHITE.



2415 PRINCETON DR. NE. SUITE G-2  
ALBUQUERQUE, NM 87107  
505.843.7287 505.843.4773 (F)  
www.designplusllc.com

DESIGN PLUS LLC

SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT AND SUBDIVISION AMENDMENT  
SANDWICH VILLAGE  
BELLAMAH AVE NW AND 18TH STREET  
ALBUQUERQUE, NM

DATE: 9/28/18

REVISIONS

PROJECT NO: Project Number

CAD DWG FILE:

DRAWN BY: ALBUQUERQUE, NM

CHECKED BY: Checker

COPYRIGHT:

DESIGN PLUS, LLC

SHEET TITLE

EXTERIOR  
ELEVATIONS

SDP-5.1 V2







- |    |   |    |   |
|----|---|----|---|
| 1  | STUCCO FINISH COLOR #1  | 9  | ALUMINUM PAINTING - CLEAR ANODIZED FINISH WITH LOW GLAZE (NO TINT)  |
| 2  | STUCCO FINISH COLOR #2  | 10 | STAIRCASE TOWER   |
| 3  | STUCCO FINISH COLOR #3  | 11 | SCHOOL LOOZ ON METAL BOND   |
| 4  | STUCCO FINISH COLOR #4  | 12 | SHADE COVERAGE AT EXTERIOR BOP OF BUILDING EXPOSED MATERIAL   |
| 5  | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS | 13 | SHADE COVERAGE AT EXTERIOR BOP WITH NATURAL, BLUET FINISH COVERAGE AT TUBE STEEL STRUCTURE WITH PAINTED COLOR TO BE DETERMINED BY PHOTOS  |
| 6  | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS | 14 | 42" METAL GUARDRAIL - PAINTED FINISH COLOR TO BE DARK NAVY BLUE   |
| 7  | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS | 15 | ROLL UP DOOR WITH TRANSLUCENT PANELS - ANODIZED FINISH  |
| 8  | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS | 16 | VERTICAL AND HORIZONTAL "VOLUME" TRILLERS: REFER TO ILLUSTRATIVE PHOTO: CABLES BORN VERTICALLY IN TUBE STEEL STRUCTURE WITH PAINTED ANODIZED FINISH WITH LIGHT GREY STEEL RODS TO BE USED HORIZONTALLY IN TUBE STEEL STRUCTURE. |
| 9  | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 10 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 11 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 12 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 13 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 14 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 15 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 16 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 17 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 18 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 19 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 20 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 21 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 22 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 23 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 24 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 25 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 26 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 27 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 28 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 29 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 30 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 31 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 32 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 33 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 34 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 35 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 36 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 37 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 38 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 39 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 40 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 41 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 42 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 43 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 44 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 45 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 46 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 47 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 48 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 49 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 50 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 51 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 52 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 53 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 54 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 55 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 56 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 57 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 58 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 59 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 60 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 61 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 62 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 63 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 64 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 65 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 66 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 67 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 68 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 69 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 70 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 71 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 72 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 73 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |
| 74 | EXPOSED PAINTED TUBE STEEL STRUCTURE COLOR TO BE DETERMINED BY PHOTOS |    |   |

2415 PRINCETON DR. NE SUITE G-2  
ALBUQUERQUE, NM 87107  
505.843.7587 505.843.6773 (F)  
[www.designplusba.com](http://www.designplusba.com)

DESIGN PLUS LLC

SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT AND SUBDIVISION AMENDMENT  
SAWMILL VILLAGE  
BELLMAH AVE NW AND 18TH STREET

DATE	DESCRIPTION	AMOUNT	BALANCE
1/1/01	Opening Balance		100.00
1/15/01	Deposit	50.00	150.00
2/1/01	Withdrawal	25.00	125.00
2/15/01	Deposit	75.00	200.00
3/1/01	Withdrawal	100.00	100.00
3/15/01	Deposit	50.00	150.00
4/1/01	Withdrawal	75.00	75.00
4/15/01	Deposit	25.00	100.00
5/1/01	Withdrawal	50.00	50.00
5/15/01	Deposit	25.00	75.00
6/1/01	Withdrawal	25.00	50.00
6/15/01	Deposit	25.00	75.00
7/1/01	Withdrawal	50.00	25.00
7/15/01	Deposit	25.00	50.00
8/1/01	Withdrawal	25.00	25.00
8/15/01	Deposit	25.00	50.00
9/1/01	Withdrawal	25.00	25.00
9/15/01	Deposit	25.00	50.00
10/1/01	Withdrawal	25.00	25.00
10/15/01	Deposit	25.00	50.00
11/1/01	Withdrawal	25.00	25.00
11/15/01	Deposit	25.00	50.00
12/1/01	Withdrawal	25.00	25.00
12/15/01	Deposit	25.00	50.00
1/1/02	Withdrawal	25.00	25.00
1/15/02	Deposit	25.00	50.00
2/1/02	Withdrawal	25.00	25.00
2/15/02	Deposit	25.00	50.00
3/1/02	Withdrawal	25.00	25.00
3/15/02	Deposit	25.00	50.00
4/1/02	Withdrawal	25.00	25.00
4/15/02	Deposit	25.00	50.00
5/1/02	Withdrawal	25.00	25.00
5/15/02	Deposit	25.00	50.00
6/1/02	Withdrawal	25.00	25.00
6/15/02	Deposit	25.00	50.00
7/1/02	Withdrawal	25.00	25.00
7/15/02	Deposit	25.00	50.00
8/1/02	Withdrawal	25.00	25.00
8/15/02	Deposit	25.00	50.00
9/1/02	Withdrawal	25.00	25.00
9/15/02	Deposit	25.00	50.00
10/1/02	Withdrawal	25.00	25.00
10/15/02	Deposit	25.00	50.00
11/1/02	Withdrawal	25.00	25.00
11/15/02	Deposit	25.00	50.00
12/1/02	Withdrawal	25.00	25.00
12/15/02	Deposit	25.00	50.00
1/1/03	Withdrawal	25.00	25.00
1/15/03	Deposit	25.00	50.00
2/1/03	Withdrawal	25.00	25.00
2/15/03	Deposit	25.00	50.00
3/1/03	Withdrawal	25.00	25.00
3/15/03	Deposit	25.00	50.00
4/1/03	Withdrawal	25.00	25.00
4/15/03	Deposit	25.00	50.00
5/1/03	Withdrawal	25.00	25.00
5/15/03	Deposit	25.00	50.00
6/1/03	Withdrawal	25.00	25.00
6/15/03	Deposit	25.00	50.00
7/1/03	Withdrawal	25.00	25.00
7/15/03	Deposit	25.00	50.00
8/1/03	Withdrawal	25.00	25.00
8/15/03	Deposit	25.00	50.00
9/1/03	Withdrawal	25.00	25.00
9/15/03	Deposit	25.00	50.00
10/1/03	Withdrawal	25.00	25.00
10/15/03	Deposit	25.00	50.00
11/1/03	Withdrawal	25.00	25.00
11/15/03	Deposit	25.00	50.00
12/1/03	Withdrawal	25.00	25.00
12/15/03	Deposit	25.00	50.00
1/1/04	Withdrawal	25.00	25.00
1/15/04	Deposit	25.00	50.00
2/1/04	Withdrawal	25.00	25.00
2/15/04	Deposit	25.00	50.00
3/1/04	Withdrawal	25.00	25.00
3/15/04	Deposit	25.00	50.00
4/1/04	Withdrawal	25.00	25.00
4/15/04	Deposit	25.00	50.00
5/1/04	Withdrawal	25.00	25.00
5/15/04	Deposit	25.00	50.00

## REVISIONS

Project Number

CAD DWG FILE:

DRAWN BY: DO

CHECKED BY: F

COPYRIGHT:  
DESIGN PLUS, LLC

SHEET TITLE

### EXTERIOR ELEVATIONS

SDP 5.3 V2







# GENERAL NOTES

- Contact the local underground utility services for utility location and identification.
- Refer to civil engineer's utility, assessment and grading plans for utility location, existing and proposed easements and grading.
- See site plan for descriptions of elements such as site furnishings, paving materials and other site elements.

# IRRIGATION NOTES

- Irrigation design shall comply with the intent of the City of Albuquerque Water Conservation, Landscaping and Water Use Ordinance.
- Installation and maintenance of irrigation shall be the responsibility of the property owner.
- The irrigation system shall be run with a fully automated smart irrigation controller. Run times shall be adjusted according to season, location, and plant performance. Drip emitters shall be used for all plant material.
- Point of connection: The water supply shall be a 1 1/2" tap off of the domestic water line. Valve boxes and equipment shall be elevated from view.
- Piping: Minimum allowable PVC size is 3/4". All lateral piping to be schedule 40 class pipe.
- Emitter to be placed uphill from plant center.
- Emitter quantities and flow rates as follows:  
Tree: quantity 5 emitters @ 2gph each  
Shrub: quantity 2 emitters @ 2gph each  
Ornamental Grasses, Perennials, Accents, Vines: quantity 1 emitter @ 2gph each

# KEYED NOTES

- PROPERTY LINE
- TREE AT TREE GRATE
- BIKE RACK
- DUMPSTER ENCLOSURE
- PHASE 1/2/3 SEE CIVIL ENGINEER'S DRAWINGS
- PHASE 1/2/3 SEE SITE PLAN
- PHASE DELINEATION LINE
- SEAT WALL, SEE 809A

# LANDSCAPE CALCULATIONS

NOTE: Original Phase I including 18th Street, Building B

SITE AREA: 431,244 SF  
BUILDING FOOTPRINT: 91,419 SF  
NET SITE AREA: 339,825 SF  
REQUIRED LANDSCAPE AREA: 80,874 SF (24% OF NET LOT AREA)  
PROVIDED LANDSCAPE AREA: 71,385 SF (21% OF NET LOT AREA)  
PHASE 1: 36,857 SF  
PHASE 2: 17,428 SF

REQUIRED OFF-STREET PARKING TREES: 48 TREES  
PROVIDED OFF-STREET PARKING TREES: 48 TREES  
PHASE 1: 36 TREES (ASSUMED)  
PHASE 2: 12 TREES (ASSUMED)  
REQUIRED MULTI-FAMILY RESIDENTIAL TREES: 85 TREES  
PROVIDED MULTI-FAMILY RESIDENTIAL TREES: 85 TREES  
PHASE 1: 80 TREES  
PHASE 2: 5 TREES (ASSUMED)  
PROVIDED HIGH WATER USE TURF AREA: 0 SF (0%)  
ALLOWED HIGH WATER USE TURF AREA: 10,198 SF (3%)

# LANDSCAPE CALCULATIONS

NOTE: THESE CALCULATIONS ARE FOR PHASE TWO ONLY. THEY DO NOT INCLUDE 18TH STREET TREE PLANTING BEDS, OR BUILDING 3 PLANTING AREAS, AS THEY WERE PART OF PHASE 1 (18) CALCULATIONS.

PHASE 2 SITE AREA: 184,759 SF  
BUILDING 4 FOOTPRINT AREA: 24,000 SF  
BUILDING 4 TOTAL AREA: 30,000 SF  
BUILDING 4 FOOTPRINT AREA: 6000 SF  
BUILDING 4 TOTAL AREA: 8000 SF  
NET SITE AREA: 78,975 SF  
REQUIRED LANDSCAPE AREA: 11,837 SF (15% OF NET LOT AREA)  
PROVIDED LANDSCAPE AREA: 11,837 SF (15% OF NET LOT AREA)  
PROVIDED HIGH WATER USE TURF AREA: 480 SF  
ALLOWED HIGH WATER USE TURF AREA: 1,080 SF (1%)

# PLANTING NOTES

- The design intent of the planting plan reflects a regionally appropriate and water wise selection of plant material with year round interest. The design is a collaboration between the architecture and the site to create a sense of place for this performing arts center located in the Sawmill Community Land Trust. Trees are optimally located for shade and street tree benefit in combination with ornamental grasses, accents and flowering perennials for color.
- Planting plan complies with the City of Albuquerque's Water Conservation, Landscaping and Water Use Ordinance, and section 14-16-3-10 of the City of Albuquerque's General Regulations.
- Planting installation and maintenance shall be the responsibility of the property owner including replacement of non-surviving plants within 90 days.
- Landscape beds shall achieve a minimum of 80% live vegetative coverage upon plant maturity.
- Mulch: All landscape areas shall be covered with 3" of rock mulch in order to minimize weed growth, add visual interest, and protect soil moisture. Color to be determined. See Legend.
- Contractor shall verify plant counts and square footages. This information is provided as owner confirmation only. If quantities on plant list differ from plant indications, plan quantities shall prevail.
- Demolish and overall plant counts shall meet or exceed those shown on approved plan.
- Organic soil biology amendment shall be applied in all tree and plant pits.
- Minimum tree well size shall be 36 square feet per General Reg 14-16-3-10, Q.1.C.
- Plants with spines will be planted 6' from sidewalks.
- Plants are to have shade to cover a minimum 20% of the area.

# LEGEND

SYMBOL AREA DESCRIPTION  
Rock mulch to be installed at 3" depth over filter fabric.  
Type: Earth tone or equal.

# LANDSCAPE PLAN PHASE II

SCALE: 1" = 50'-0"

# PLANTING LEGEND

NOTE: Original Phase I Planting Plan (Includes Bldg B and 18th Street)

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
30	24" BOX MULTI	1'-0" @ 6" x 6"	DESERT YULIF	Chilopsis linearis	20.00	25.00	Low Water Use
19	24" BOX MULTI	1'-0" @ 6" x 6"	DESERT OLIVE	Forsythesia nemoralis	12.00	12.00	Medium Water Use
23	2'-0" @ 3" x 4"	1'-0" @ 3" x 4"	CHINESE PRITCHARD	Palisade chinensis	30.00	30.00	Medium Water Use
24	2'-0" @ 3" x 4"	1'-0" @ 3" x 4"	TEXAS RED OAK	Quercus laevis	25.00	30.00	Medium Water Use
36	2'-0" @ 3" x 4"	1'-0" @ 3" x 4"	PURPLE ROSE LOCUST	Rosa pratincola	35.00	25.00	Medium Water Use
5	2'-0" @ 3" x 4"	1'-0" @ 3" x 4"	AFRICAN PINE	Pinus densata	50.00	20.00	Low Water Use

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
301	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	FRANCO SAGE	Artemisia subsp. 'Argyrea'	1.00	2.50	Low Water Use
56	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	ARP ROSEMARY	Rosmarinus officinalis 'Argyrea'	3.50	3.50	Low Water Use
191	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	DWARF WAXEN GRASS	Manisuris alba 'Morning Light'	4.00	3.00	Medium Water Use
292	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	REGAL WEST GRASS	Wulferbergia capillaris 'Regal West'	3.50	3.00	Medium Water Use
95	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	DEER GRASS	Wulferbergia ligata	3.00	4.00	Medium Water Use
101	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	MEDICAN MAT	Polypodium polypodioides	2.50	2.50	Low Water Use
113	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	PLUMBAGO	Carlinthus plumbeus	1.00	3.00	Medium Water Use
190	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	ALKALI SACATON	Sarcobatus albidus	2.00	3.00	Low Water Use
183	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	MOONSHINE YARROW	Anemone 'Moonshine'	2.00	1.50	Low Water Use

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
42	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	FURNISHING	Chamaelirium luteolum	8.00	6.00	Medium Water Use
40	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	DWARF CHAMISA	Oxyechinus depressus	1.50	2.00	Low Water Use
4	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	SILVERBERRY	Osmanthus purpurea	12.00	15.00	Low Water Use
78	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	TURBIDITY BUSH	Encelia torulosa	2.00	4.00	Low Water Use
45	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	APACHE PLUME	Fallugia parvifolia	5.00	8.00	Low Water Use

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
38	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	LEONARDILLA	Agave leonardilla	1.00	3.00	Low Water Use
83	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	SOYOL	Douglas albertii	5.00	5.00	Low Water Use
112	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	DESERT PRICKLY PEAR	Opuntia engelmannii	4.00	5.00	Low Water Use
114	1'-0" @ 12" x 12"	1'-0" @ 12" x 12"	PLAINS YUCCA	Yucca glauca	2.00	3.00	Low Water Use

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
28	1'-0" @ 6" x 6"	1'-0" @ 6" x 6"	CORAL HONEYBUCKLE	Lonicera sempervirens	8.00	10.00	Medium Water Use

NATIVE GRASS AND WILDFLOWER SEEDING AREA (0.133 A)

# PLANT LEGEND

NOTE: Phase II Planting Plan includes Bldgs A1, A2 and revised 18th Street Planting Plan

SYMBOL	QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water Use
10	2'-0"	2'-0"	TOXIC-LEAFY LOCUST	Gleditsia triacanthos var. inermis	30.00	30.00	Low Water Use
5	2'-0" Single Trunk	2'-0"	RED TEDD OAK	Quercus laevis	30.00	30.00	Medium Water Use
15	3'-0" Box Multi-trunk	3'-0"	CHASTE TREE	Viburnum cuneatum	20.00	10.00	Low Water Use
9	2'-0"	2'-0"	CHINESE PRITCHARD	Palisade chinensis	30.00	30.00	Medium Water Use

SYMBOL	QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water Use
81	1'-0"	1'-0"	ORANGE BUTTERFLY WEED	Asclepias tuberosa	1.50	1.50	Low Water Use

SYMBOL	QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water Use
15	1'-0"	1'-0"	BIG BLUE STEM	Andropogon gerardii	5.00	3.00	Low Water Use
263	1'-0"	1'-0"	BUXY THREADGRASS	Neurospora tenuifolia	1.50	1.00	Low Water Use
236	1'-0"	1'-0"	DEERGRASS	Muhlenbergia sp.	4.00	2.00	Low Water Use
137	1'-0"	1'-0"	LITTLE BLUETIM	Scirpus setaceus	3.00	1.50	Low Water Use

SYMBOL	QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water Use
471	1'-0"	1'-0"	DESERT MARSHAL	Salvia multicaulis	1.50	1.50	Low Water Use
101	1'-0"	1'-0"	FOUR CLOCKS	Mimulus multiflorus	1.50	4.00	Low Water Use
341	1'-0"	1'-0"	MILKLEAF YEW	Carissa macrocarpa	1.00	1.50	Low Water Use

SYMBOL	QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water Use
13	1'-0"	1'-0"	PURPLE ROCKY PEAR	Quercus laevis	3.50	6.00	Low Water Use
180	5'-0"	5'-0"	SOFT BLUE YUCCA	Yucca rostrata	2.50	5.00	Low Water Use
18	5'-0"	5'-0"	BLUE SOYOL	Douglas albertii	2.50	5.00	Low Water Use

SYMBOL	QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water Use
12	1'-0"	1'-0"	HALLS HONEYBUCKLE STANDBY	Lonicera japonica	9.00	4.00	Low Water Use



# Dekker Perich Sabatini

7801 Jefferson NE Suite 100  
Albuquerque, NM 87109  
404 741-9749  
fax 741-4222  
dps@dpdesign.org

ARCHITECT

ENGINEER

**DRB  
SUBMITAL**  
9/6/2011

PROJECT

Sawmill Village  
Bellamah Avenue & 18th Street  
Albuquerque, New Mexico

REVISIONS

- 7/29/11 Phase 2 Modifications
- 8/30/11 Phase 2 Modifications

DRAWN BY YT

REVIEWED BY YT, CG

DATE 9/6/2011

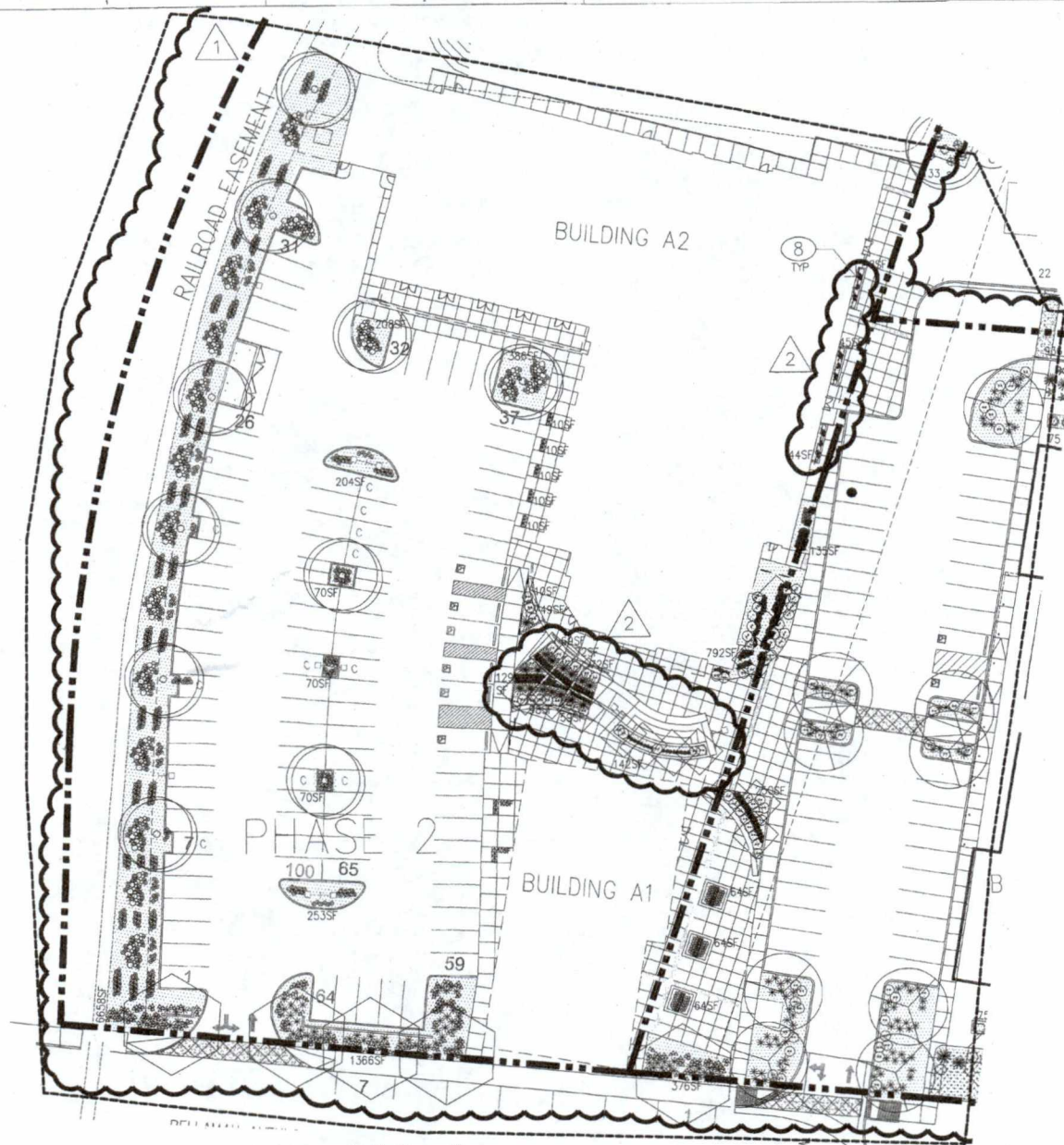
PROJECT NO. 11-0036

DRAWING NAME

**LANDSCAPE  
PLAN  
ENLARGEMENT**

SHEET NO.

**SDP2A**



**LANDSCAPE PLAN ENLARGEMENT**  
PHASE II

SCALE: 1" = 20'-0"



# Design Standards for Planned Residential Development (PRD)

## Overall Design Theme and Land Use Concept:

The purpose of these design standards is to establish a development framework for the area shown on the site development plan for subdivision. These design standards will create an attractive and innovative development that fosters a mixed-use community for residents, artisans and other small business owners, and retailers and their clients. The new community respects the history of the site (former lumber yard), the neighborhood (historic Sawmill and Old Town), and the City. It also allows for the privacy and well-being of the residents and other users. This mix of uses is unique to the City. These standards are complementary to the existing and new design of adjacent properties.

The housing will be affordable rental, and for-sale condominiums and townhome units (an agreement between Sawmill Community Land Trust & the developer allows for up to 20% of condominiums and townhomes to be affordable units). The Active Spaces will be short-term leased to artisans and incubator companies. Service-oriented Retail spaces might be a health club, management leasing office, and other small businesses. Phase II is envisioned with a restaurant with a small brewery, other retail, and more Active Spaces with apartments above and a performing arts center with small leaseable office space and a small restaurant. Green and sustainable building practices shall be incorporated: passive interception of surface water in parking lot landscape surfaces, xeric planting, directing roof water from downspouts to landscape areas when feasible, Energy Star appliances, and some materials with recycled content.

The sawdust hoppers from the site will be relocated and used as site monuments (see 14-6-3-3 in the Zoning Code). The largest hopper is approximately 7' tall, including its sawdust accumulators. Site monuments shall comply with regulations applicable to signs within 40' feet of residential zones and to signs in the O-1 zone, specifically:

- the monuments shall not be on the public right-of-way;
- no part of the monument shall move, flash, or rotate;
- any illumination shall comply with the City's Dark Sky requirements;
- no illuminated portion of the monument shall have a luminance greater than 200 footlamberts at night nor change its illumination more than once an hour.

Various places serve both residents and visitors. Semi-private spaces for the residents are shown in the inner areas of the site and residents have private patios, courtyards, balconies, decks or roof decks. Salvage of steel and metal from the site's previous life as a lumber yard will be used on site as signage, markers, and sculpture.

All units that face property zoned industrial shall have sound reducing insulation and windows.

The Planning Director in accordance with the Albuquerque Comprehensive City Zoning Code shall approve minor amendments to this Site Plan for Subdivision. The Environmental Planning Commission shall approve major amendments to this Site Development Plan for Subdivision. Phase II site development plans for building permit are delegated to the DRB for approval.

## Off-Street Parking:

Off-street parking space shall be provided in compliance with other similar mixed-use and infill developments. The site is designed as a shared parking environment for both residential and commercial uses. Parking space design is in compliance with regulation 14-16-3-1. Each townhome has a single-car garage and driveway parking for a second car. See SDP1 for Parking Calculation.

The guidelines also apply to disabled parking, and motorcycle and bicycle parking. Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided. Bicycle racks shall be constructed of metal and finished in colors harmonious with those of the buildings on site.

## Architectural Design Guidelines:

### Landscape

The landscape design for Phase I and Phase II of the project will strive to engage the users by providing a welcoming environment for the residents and public. Through the use of xeric plants outdoor spaces will have seasonal color, texture and scale and will complement the architecture. Trees will be used to provide shade in pedestrian areas, highlight intersections and establish hierarchy of streets. Accent plants will be used to emphasize entries and provide sculptural interest. The remainder of the plant palette will be a mixture of shrub, ornamental grasses and groundcovers. The landscape design will comply with the intent of the city of Albuquerque Water Conservation, Landscaping and Water Waste ordinance and 14-16-3-10 of the city of Albuquerque General Regulations.

A landscape plan for Phase II (which is included with the final site development plan for building permit) shall be submitted to the DRB for approval. The landscape plan shall be designed in accordance with the Phase II property, reflecting the calculations, plant palette and design theme of the approved Phase I landscape plan.

### Exterior Wall Materials and Colors

Exterior wall materials reflect the vernacular in the Sawmill neighborhood, the previous lumber mill and its industrial buildings and geometric forms, and a modern blend of both.

Articulation of massing so as not to produce a long and flat building facade shall be considered and encouraged. Contemporary columns and porches provide shade and cover to the occupant and pedestrian and enrich the building planes with light changes. They further provide pedestrian access and a place for people to work and socialize. The possible salvage of steel building frames could provide some of the columns and recall the former use of the site.

Stucco wall finish system (or synthetic version) reinforces the vernacular architectural expression as do metal wall panels, corrugated steel, rusted steel, and stained cement panels. Exterior wall color shall reflect a consistent overall palette of earth and sky-based tones, both pale and saturated with color, as is the palette from nature.

In Phase II the apartment buildings (D and E) will use a stucco wall finish system and metal wall panels in addition to metal shading devices. Color will be medium and deep earth tones, warm gray, and the metal will be silver with another accent color.

Building B will include red oxide painted metal shading devices. Structural steel columns that comprise the arcade along the east and west face of the first floor retail spaces will also be red oxide color. Stucco colors of raw sienna, terracotta, indigo blue, and burnt umber work in conjunction with the grouping of the buildings' different details. Signs and balconies have steel railings. They are in keeping with the industrial reference to the Sawmill district as are the aluminum framed windows and doors.

The townhomes will incorporate two stucco colors, light ochre and medium grey green along with terracotta cement board panels that will break up the facade texturally as well.

Active Spaces are shown with aluminum framed overhead sectional doors or large windows. The purpose of these is to open those spaces to the public either by an artisan that may want to open an overhead door to share his or her craft or via a large window to provide both views in and out. (Overhead doors are not provided for vehicle access.)

Exterior detail items such as shade canopies and louvers, trellises, and open railings shall be consistently detailed for each building to complement the overall architecture.

Phase II buildings will follow the same palette of materials and colors as Phase I.

Reflective glass shall not be permitted. General SU-2 regulation 4.7.

### Roof materials and colors

Rooflines shall be reminiscent of the turn of the century neighborhood roofs, including the simple pitches of the industrial ghettos, or clean line parapets. Apartment buildings will have low heat absorbing "flat" roofs hidden behind parapets. The retail-condos building will have a low slope roof and parapets all around. The roof will be a low heat absorbing single ply material in a light color that will help reduce heat gain in the building. Roofs on the townhomes will be low heat absorbing single ply roof material that will help reduce heat gain in the homes. Some townhome roofs are sloped (pitch ranges from 2:12 - 6:12). Phase II buildings will follow the same range of roof lines, materials and colors as Phase I.

### Site Lighting

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Fixtures shall comply with the City of Albuquerque's Dark Skies requirements.
- The height of street lights and parking area lights shall be kept to the minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site features.
- Perimeter parking (north and northeast in Phase I, west perimeter in Phase II): 25' high maximum pole with cutoff features provided that the lighting fixture does not directly shine on any residential premises.
- Buildings and adjacent pedestrian areas: Building mounted fixtures, bollards.

Buildings and adjacent pedestrian areas: Building mounted fixtures, bollards.

### Placement of Mechanical Units

Care shall be made to hide the view of exposed mechanical units, pipes, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used. Ground level units shall be screened from public view through free-standing dense evergreen foliage or on "green walls". Roof mounted units shall be screened from public view through the use of parapet walls or roof screens that are architecturally coordinated with the building they serve.

## Signage

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and complements the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Signs Regulations of the Zoning Code.
- Signs identifying the principal use of a building may be free-standing or wall-mounted. Signs identifying the use of an active or other commercial space within the building shall be well-mounted or banner-type sign that projects no more than half of the adjacent sidewalk width.
- The design of the interior directional signs shall be coordinated with the design of the site signage.
- No illuminated plastic panel signs are allowed.

## Screen Walls and Fences

Site fencing will be designed to comply with section 14-16-3-19 of the Zoning Code to be harmonious with the development & adjacent properties.

"Green walls" - 6' high open metal fencing with plant material growing on or adjacent - will be used in all possible locations including the East and North site perimeter. The color will be neutral so as to harmonize with the plant material. Fencing along the Railroad line will be similar to the adjacent Sawmill Luts - 6' high open metal picket painted in a neutral color. At the extended plaza area at the pond, similar material and color will be used as guardrail.

Patio walls shall reflect the same use of stucco finish to complement that of the buildings, or may contrast the building finish by use of metal fencing (rail or solid) to articulate semi-private patios and balconies. Patio walls shall not exceed 5'. Color shall be harmonious with the adjacent building.

Townhome yard separation walls will be a composite of cmu wall with stained cement board in a metal frame above the cmu. It will be stained and painted terracotta which is also used on the homes. Back yard walls shall not exceed 5'.

The west, south, and east sides of the detention pond will be fenced to the property line with a steel open rail fence or guardrail. These fences and guardrails will be painted a neutral color.

The decorative wall on the north side of the plaza will be constructed, in part, of industrial salvage materials from the site. Other possible materials are metal, cmu (not standard grey), and stucco. This wall will serve as the backdrop for the main gathering space and will recall the former life of the site.

The effective use of screening devices for utilitarian spaces, such as refuse areas, is critical to creating an attractive and functional development. The site orientation of these elements shall be placed away from public rights of way to the extent practical. Materials shall be chosen from cmu (not standard grey), stucco, and metal in colors harmonious with the adjacent buildings.

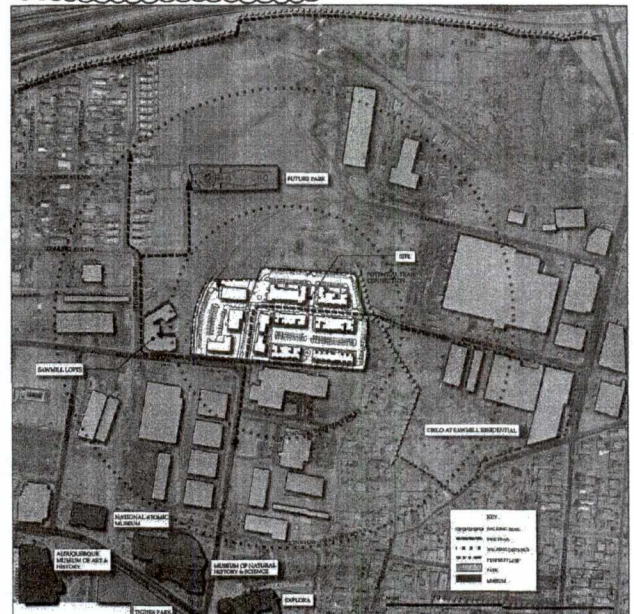
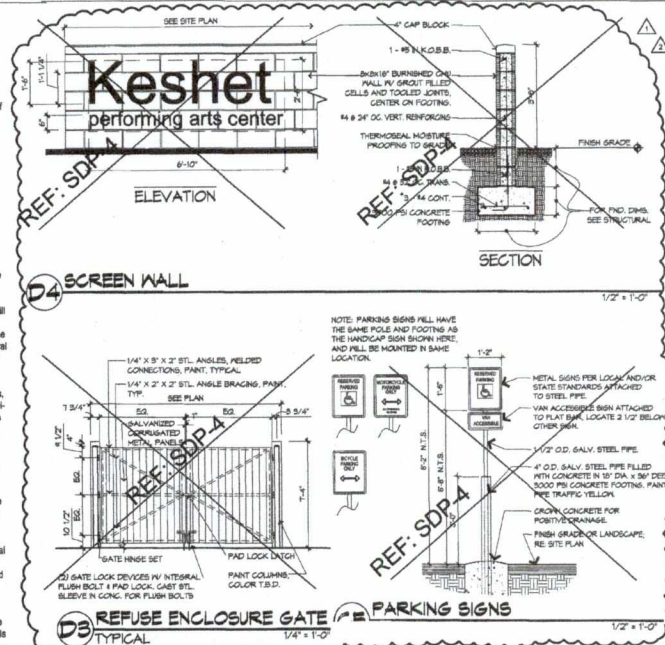
## Trails and Sidewalks

Public and private walks provide important connectivity within the project as well as in and out of the site.

- The eastern edge of the site will join a pedestrian path providing for both off and on-site connectivity to recreation and facilities. All private trails and paths shall be soft surface, with a minimum of 5'-0" width. The use of asphalt is discouraged. Concrete or compacted crusher fines with stabilizer are acceptable materials.
- All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this unfeasible.
- Pedestrian crossings shall be clearly demarcated with contrasting paving treatment.

## Public Open Space

An important design of this mixed-use community is the inclusion of plazas: opportunities for residents to meet their neighbors and visitors to the site. The plazas are designed to provide quiet space in the shade for an individual, for a group listening to a local musician, and for a community-wide ground market. The public areas are varied in size and character and will be suited to the same variety of interests. Open plazas and commercial areas shall have seating & shade covering a minimum of 25% of the area per 14-16-3-18 (c) (4) in the zoning code.



Context and Pedestrian Connections

architect  
interior  
landscape  
planning  
engineering

**Bekker Perich Sabatini**

1801 Jefferson NE Suite 100  
Albuquerque, NM 87106  
505 761-2780  
fax 761-4212  
www.bekkerperich.com

ARCHITECT

ENGINEER

**DRB SUBMITAL**  
9/6/2011

PROJECT

**Sawmill Village**  
**Bellamah Avenue & 18th Street**  
**Albuquerque, New Mexico**

REVISIONS  
1/26/2011 PHASE I MODIFICATIONS  
4/30/2011 IFC CONDITIONS OF APPROVAL

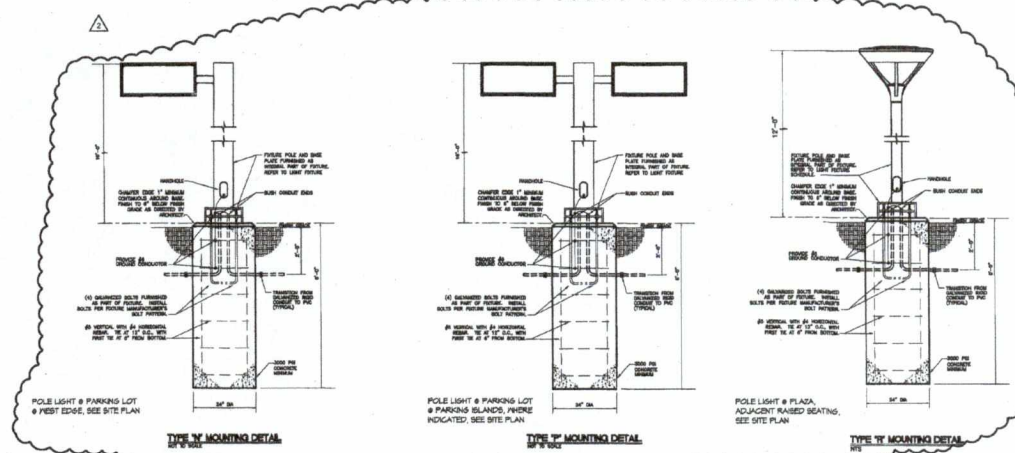
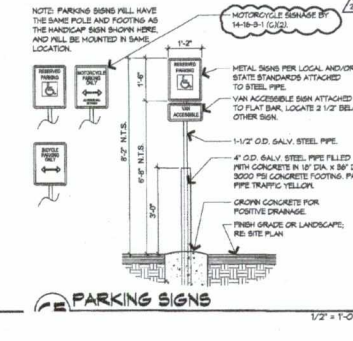
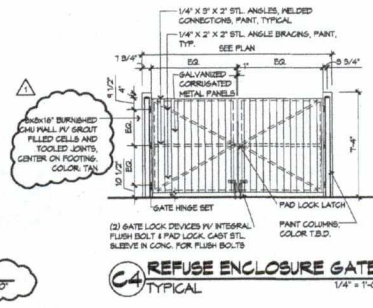
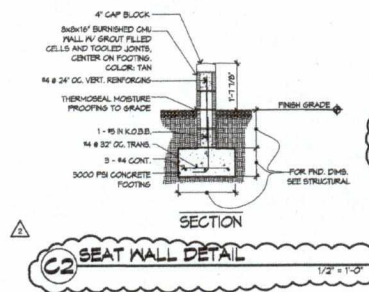
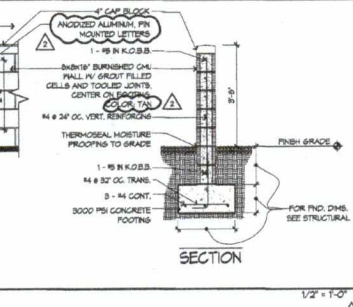
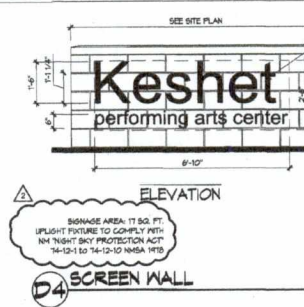
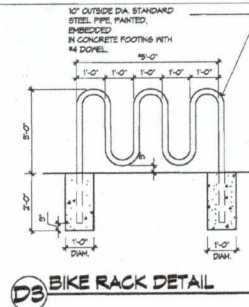
DRAWN BY CM, RJA, MS  
REVIEWED BY CM  
DATE 8/30/2011  
PROJECT NO 11-0036  
DRAWING NAME

DEVELOPMENT  
DESIGN STANDARDS,  
CONTEXT GRAPHIC

SHEET NO.

**SDF3**  
3 OF 4









# REFERENCE KEYNOTES

Key Value	Keynote Text
0.1	2-COAT PORTLAND CEMENT STUCCO COLOR TAN
0.2	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
0.3	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
0.4	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
0.5	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
0.6	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
0.7	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
0.8	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
0.9	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
1.0	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
1.1	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
1.2	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
1.3	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
1.4	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
1.5	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
1.6	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
1.7	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
1.8	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
1.9	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
2.0	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
2.1	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
2.2	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
2.3	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
2.4	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
2.5	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
2.6	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
2.7	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
2.8	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
2.9	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
3.0	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
3.1	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
3.2	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
3.3	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
3.4	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
3.5	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
3.6	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
3.7	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
3.8	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
3.9	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
4.0	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
4.1	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
4.2	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
4.3	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
4.4	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
4.5	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
4.6	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
4.7	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
4.8	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
4.9	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
5.0	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
5.1	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
5.2	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
5.3	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
5.4	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
5.5	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
5.6	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
5.7	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
5.8	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
5.9	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
6.0	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
6.1	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
6.2	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
6.3	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
6.4	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
6.5	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
6.6	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
6.7	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
6.8	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
6.9	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
7.0	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
7.1	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
7.2	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
7.3	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
7.4	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
7.5	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
7.6	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
7.7	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
7.8	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
7.9	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
8.0	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
8.1	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
8.2	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
8.3	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
8.4	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
8.5	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
8.6	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
8.7	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
8.8	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
8.9	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
9.0	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
9.1	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
9.2	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
9.3	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
9.4	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
9.5	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
9.6	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
9.7	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
9.8	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
9.9	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
10.0	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE

# LEGEND

	2-COAT PORTLAND CEMENT STUCCO COLOR TAN
	2-COAT PORTLAND CEMENT STUCCO COLOR PURPLE
	CORRUGATED METAL COLOR GRAY
	METAL PERFORATED SCREEN COLOR GRAY

# GENERAL SHEET NOTES

A. GENERAL SHEET NOTES

architecture  
interiors  
landscape  
planning  
engineering

**Dekker  
Perich  
Sabatini**

7801 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505.761.9750  
Fax 505.761.9750  
eps@epdgroup.com

ARCHITECT

**EPC  
SUBMITAL  
7/29/2011**

ENGINEER

PROJECT

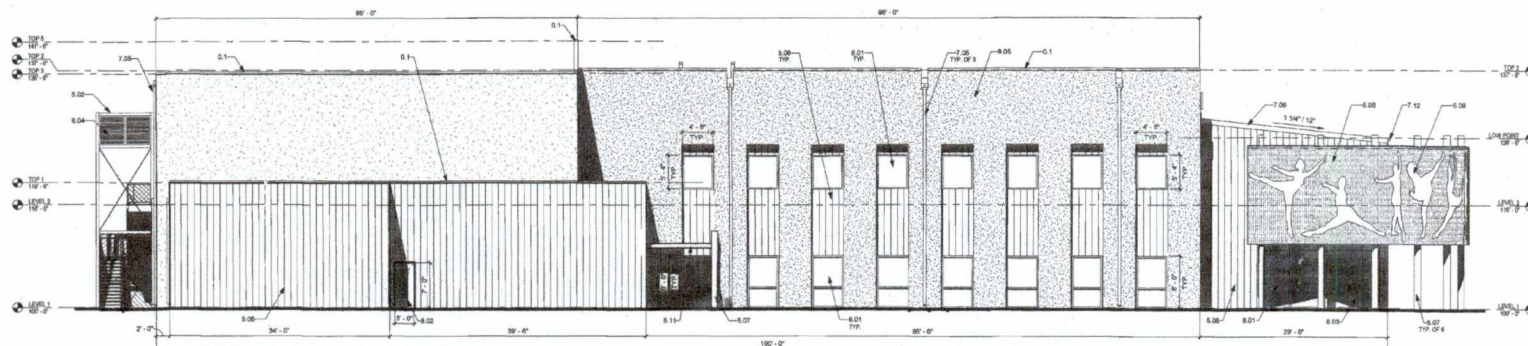
**Keshet - performing arts center**  
Belenah Avenue & 18th Street  
Albuquerque, New Mexico

REVISIONS  
DATE DESCRIPTION  
1 08/01/11 EPC STAFF COMMENTS

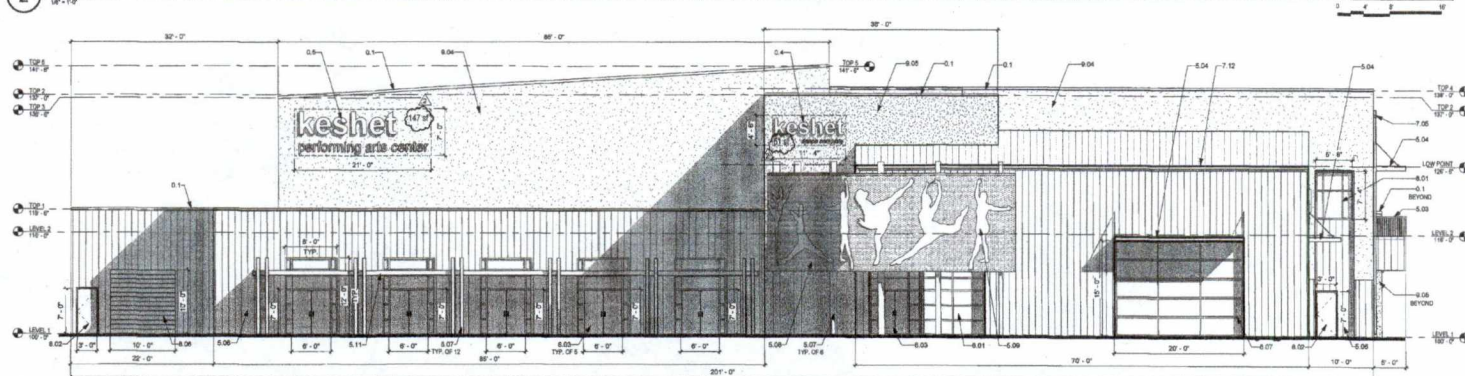
DRAWN BY LRA, GG  
REVIEWED BY CG  
DATE 8/16/2011  
PROJECT NO. 11-0038

DRAWING NAME  
**BUILDING  
ELEVATIONS**

SHEET NO.  
**SDP7A**

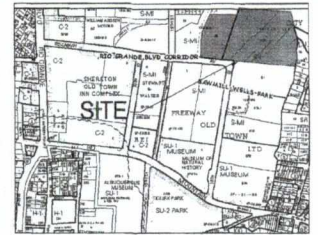


**2 WEST ELEVATION**



**1 SOUTH ELEVATION**





VICINITY MAP  
ZONE AREA PAGE 1-13-2



40 20 0 40  
1" = 40'

**LEGEND**

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- TO-TOP OF CURB, FLOW LINE
- TO-TOP OF WALL, FIN-BOTTOM OF WALL
- EX-EXISTING, TO-TOP OF GRADE
- TO-FINISH GROUND HIGH SIDE
- TO-FINISH GROUND LOW SIDE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED INWER CONTOURS
- PROPOSED RETAINING WALL (MANUFACTURED KEY STONES)
- PROPOSED STORM DRAIN INLET
- PROPOSED MANHOLE
- EXISTING MONUMENT

**KEYED NOTES**

- (A) DAYLIGHT PRIVATE STORM-DRAIN TO POND
- (B) TYPE C INLET
- (C) TYPE D INLET
- (D) PRIVATE STORM DRAIN
- (E) PRIVATE STORM DRAIN MANHOLE
- (F) CONCRETE RUNDOWN

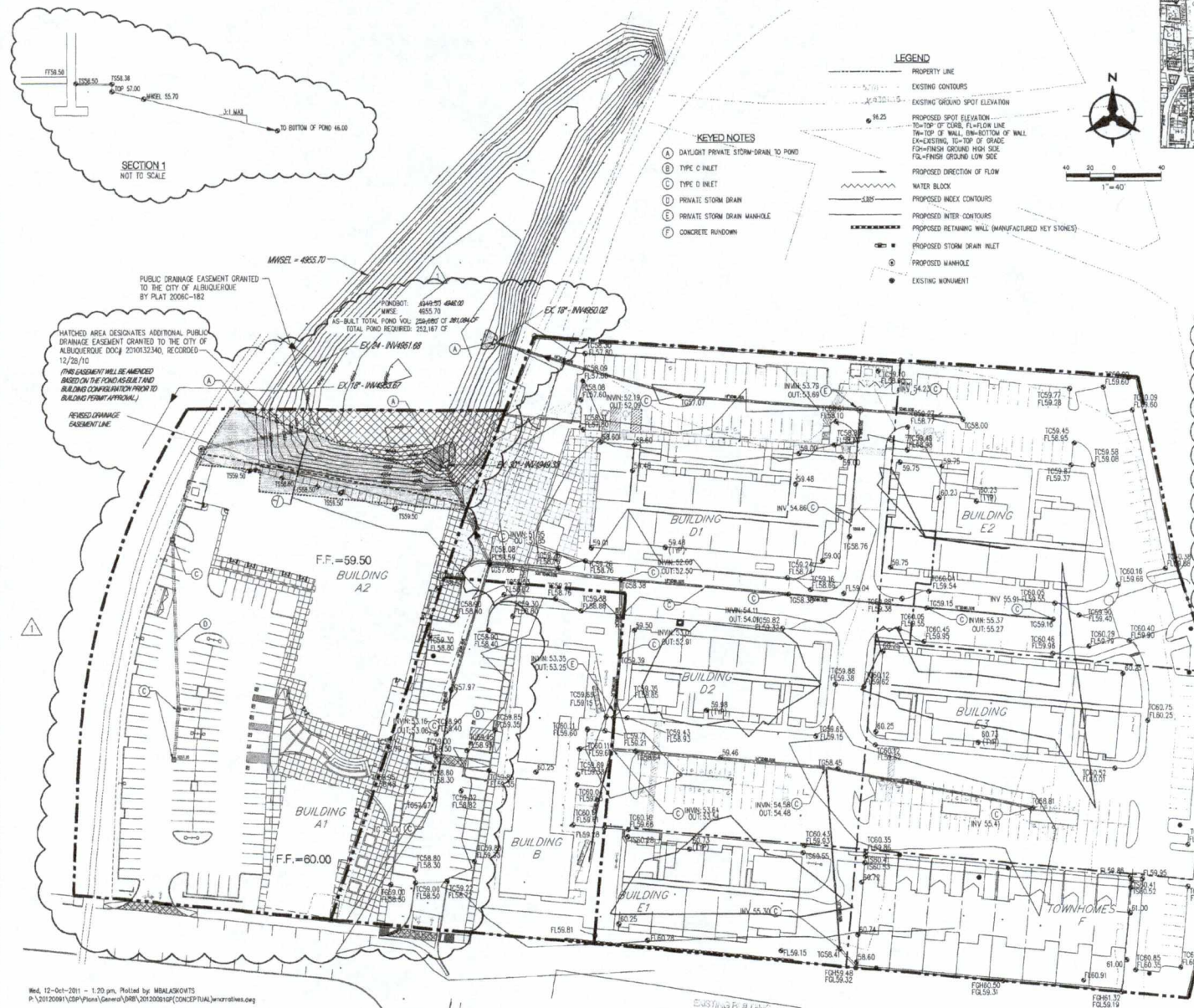
**GRADING AND DRAINAGE NARRATIVE**

THE EXISTING SITE GRADING IS VERY FLAT. THE SLOPE ACROSS THE SITE IS LESS THAN 1% FROM THE NORTHEAST TO THE SOUTHWEST. NO MAJOR CHANGES FROM THE EXISTING GRADES ARE PROPOSED WITH THIS PROJECT. THE SITE WILL BE GRADED TO ESTABLISH THE BUILDINGS SLIGHTLY ABOVE THE EXISTING GRADES, WITH SURFACE AND SUBSURFACE DRAINAGE AROUND THE BUILDINGS. THE ENTIRE SITE WILL DRAIN TO A DETENTION POND LOCATED AT THE NORTHWEST CORNER OF THE SITE. THE POND IS AN EXISTING FACILITY WHICH WAS SIZED TO ACCEPT THE FLOWS FROM THE SMALLER WESTERN PARCEL (TRACT 2-D) WHICH IS WITHIN THE EXISTING SAWMILL MASTER DRAINAGE PLAN AREA.

WITH PHASE 1, THE POND WAS ENLARGED TO ACCEPT THE DEVELOPED DRAINAGE FROM THIS SITE. (PLEASE REFER TO COA HYDROLOGY FILE NUMBER #13/0028A FOR THE APPROVED DRAINAGE MANAGEMENT PLAN AND GRADING PLAN WHICH CONSTRUCTED THESE IMPROVEMENTS). WITH THE PHASE 2 PROJECT, WE PROPOSE TO PROVIDE A STORM DRAINAGE SYSTEM TO CONVEY THE DEVELOPED FLOWS TO THIS EXISTING POND.

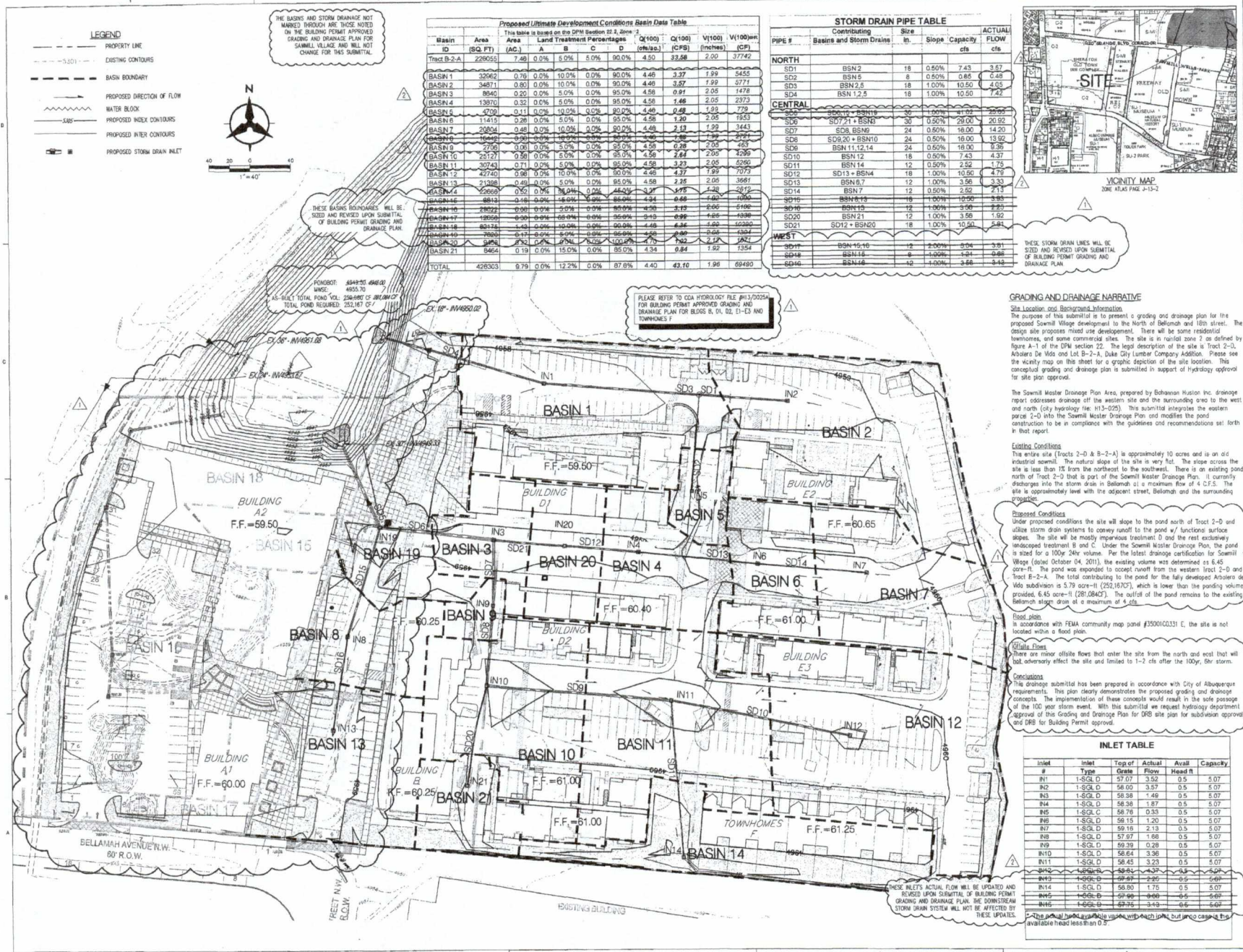
THE MAJORITY OF THE EXISTING SITE WILL DRAIN TO THE POND VIA PROPOSED PRIVATE UNDERGROUND STORM DRAIN. A SMALL PORTION OF THE SITE WILL DRAIN TO THE POND VIA SURFACE FLOW. THE POND IS SIZED FOR RETENTION OF THE 100 YEAR, 24HR STORM. HOWEVER THERE IS A SMALL EXISTING "DRAIN" LINE TO THE EXISTING PUBLIC STORM DRAIN IN BELLAMAH, WHICH ALLOWS THE POND TO DRAIN OVER AN ACCEPTABLE TIME.

PLEASE REFER TO COA HYDROLOGY FILE #13/0028A FOR BUILDING PERMIT APPROVED GRADING AND DRAINAGE PLAN FOR BLDGS B, D1, D2, E1-E3 AND TOWNHOMES F



SECTION 1  
NOT TO SCALE





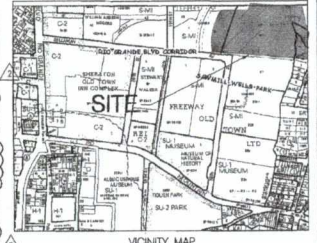
**Proposed Ultimate Development Conditions Basin Data Table**

This table is based on the 2% SCS Type II 24-hr Storm

Basin ID	Area (SQ FT)	Area (AC)	Land Treatment Percentages				Q(100) (CFS)	Q(100) (MGD)	V(100) (inches)	V(100) (CF)
			A	B	C	D				
Tract B-2-A	226050	7.46	0.0%	5.0%	5.0%	90.0%	4.50	33.58	2.00	37742
BASIN 1	3262	0.75	0.0%	10.0%	0.0%	90.0%	4.48	3.37	1.99	5455
BASIN 2	34871	0.80	0.0%	10.0%	0.0%	90.0%	4.48	3.87	1.99	5771
BASIN 3	8540	0.20	0.0%	5.0%	0.0%	95.0%	4.58	0.91	2.05	1478
BASIN 4	13870	0.32	0.0%	5.0%	0.0%	95.0%	4.58	1.48	2.05	2373
BASIN 5	9729	0.11	0.0%	10.0%	0.0%	90.0%	4.48	0.48	1.99	779
BASIN 6	11415	0.26	0.0%	5.0%	0.0%	95.0%	4.58	1.20	2.05	1853
BASIN 7	20804	0.48	0.0%	10.0%	0.0%	90.0%	4.48	2.13	1.99	3443
BASIN 8	16492	0.38	0.0%	10.0%	0.0%	90.0%	4.48	1.98	1.99	2747
BASIN 9	2750	0.06	0.0%	5.0%	0.0%	95.0%	4.58	0.28	2.05	483
BASIN 10	22127	0.51	0.0%	5.0%	0.0%	95.0%	4.58	2.64	2.05	4289
BASIN 11	30743	0.71	0.0%	5.0%	0.0%	95.0%	4.58	3.23	2.05	5280
BASIN 12	42740	0.98	0.0%	10.0%	0.0%	90.0%	4.48	4.37	1.99	7073
BASIN 13	21288	0.49	0.0%	5.0%	0.0%	95.0%	4.58	2.25	2.05	3681
BASIN 14	22605	0.52	0.0%	5.0%	0.0%	95.0%	4.58	3.27	2.05	5292
BASIN 15	6613	0.15	0.0%	10.0%	0.0%	90.0%	4.48	0.66	1.99	1090
BASIN 16	28022	0.65	0.0%	5.0%	0.0%	95.0%	4.58	3.12	2.05	4186
BASIN 17	19850	0.45	0.0%	5.0%	0.0%	95.0%	4.58	2.89	2.05	4530
BASIN 18	63124	1.45	0.0%	10.0%	0.0%	90.0%	4.48	6.34	1.99	10530
BASIN 19	26000	0.61	0.0%	5.0%	0.0%	95.0%	4.58	3.00	2.05	4304
BASIN 20	34994	0.80	0.0%	5.0%	0.0%	95.0%	4.58	3.62	2.05	5354
BASIN 21	9464	0.19	0.0%	15.0%	0.0%	85.0%	4.34	0.84	1.82	1354
TOTAL	429303	9.79	0.0%	12.2%	0.0%	87.0%	4.40	43.10	1.98	69480

**STORM DRAIN PIPE TABLE**

PIPE #	Basins and Storm Drains	Size	Slope	Capacity cfs	ACTUAL FLOW cfs
<b>NORTH</b>					
SD1	BSN2	18	0.50%	7.43	3.57
SD2	BSN5	8	0.50%	0.85	0.48
SD3	BSN2,5	18	1.00%	10.50	4.65
SD4	BSN1,2,5	18	1.00%	10.50	7.42
<b>CENTRAL</b>					
SD5	SD7,7+BSN4	30	0.50%	29.00	20.92
SD6	SD8,BSN6	24	0.50%	16.00	14.20
SD8	SD9,20+BSN10	24	0.50%	16.00	13.92
SD9	BSN11,12,14	24	0.50%	16.00	8.38
SD10	BSN12	18	0.50%	7.43	4.37
SD11	BSN14	12	0.50%	2.52	1.75
SD12	SD13+BSN4	18	1.00%	10.50	4.79
SD13	BSN6,7	12	1.00%	3.56	3.33
SD14	BSN7	12	0.50%	2.52	2.13
SD15	BSN15	18	1.00%	10.50	3.88
SD16	BSN15	12	1.00%	3.56	2.25
SD20	BSN2	12	1.00%	3.56	1.50
SD21	SD12+BSN20	18	1.00%	10.50	5.84
<b>WEST</b>					
SD17	BSN15,16	12	2.00%	5.04	3.91
SD18	BSN16	8	1.00%	1.81	0.88
SD19	BSN16	12	1.00%	3.56	3.13



THESE STORM DRAIN LINES WILL BE SIZED AND REVERSED UPON SUBMITTAL OF BUILDING PERMIT GRADING AND DRAINAGE PLAN.

**GRADING AND DRAINAGE NARRATIVE**

**Site Location and Background Information**

The purpose of this submittal is to present a grading and drainage plan for the proposed Sawmill Village development to the North of Bellamah and 18th Street. The design site proposes mixed use development. There will be some residential townhomes, and some commercial sites. The site is in a rural zone 2 as defined by figure A-1 of the DPM section 22. The legal description of the site is Tract 2-0, Abasco de Vida and Lot B-2-A, Duke City Lumber Company Addition. Please see the vicinity map on this sheet for a graphic depiction of the site location. This conceptual grading and drainage plan is submitted in support of hydrology approval for site plan approval.

The Sawmill Village Drainage Plan Area, prepared by Behavens Huxton Inc. drainage report addresses drainage off the western site and the surrounding area to the west and north (city hydrology file H13-105). This submittal integrates the eastern portion 2-0 into the Sawmill Village Drainage Plan and modifies the pond construction to be in compliance with the guidelines and recommendations set forth in that report.

**Existing Conditions**

The entire site (Tracts 2-0 & B-2-A) is approximately 10 acres and is an old industrial sawmill. The natural slope of the site is very flat. The slope across the site is less than 1% from the northeast to the southwest. There is an existing pond north of Tract 2-0 that is part of the Sawmill Village Drainage Plan. It currently discharges into the storm drain in Bellamah at a maximum flow of 4 C.F.S. The site is approximately level with the adjacent street, Bellamah and the surrounding properties.

**Proposed Conditions**

Under proposed conditions the site will slope to the pond north of Tract 2-0 and utilize storm drain systems to convey runoff to the pond w/ functions surface slopes. The site will be mostly impervious treatment D and the rest exclusively landscaped treatment B and C. Under the Sawmill Village Drainage Plan, the pond is sized for a 100yr 24hr volume. Per the latest drainage certification for Sawmill Village (dated October 04, 2011), the existing volume was determined as 6.45 acre-ft. The pond was expanded to accept runoff from the western tract 2-0 and Tract B-2-A. The total contributing to the pond for the fully developed Abasco de Vida subdivision is 5.79 acre-ft (252,167CF), which is lower than the ponding volume provided, 6.45 acre-ft (281,084CF). The outfall of the pond remains to the existing Bellamah storm drain at a maximum of 4.25.

**Final Notes**

In accordance with FEMA community map #250010331 E, the site is not located within a flood plain.

**Off-site Flows**

There are minor off-site flows that enter the site from the north and east that will not adversely affect the site and limited to 1-2 cfs after the 100yr, 24hr storm.

**Conclusions**

The drainage submittal has been prepared in accordance with City of Albuquerque requirements. This plan clearly demonstrates the proposed grading and drainage concepts. The implementation of these concepts would result in the safe passage of the 100 year storm event. With this submittal we request hydrology department approval of this Grading and Drainage Plan for DRB site plan for subdivision approval and DRB for Building Permit approval.

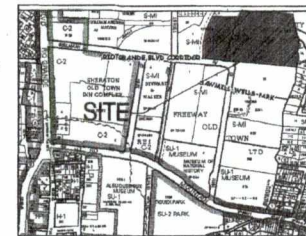
**INLET TABLE**

Inlet #	Inlet Type	Top of Grate	Actual Flow	Avail. Head ft	Capacity
IN1	1-SGL D	57.07	3.52	0.5	5.07
IN2	1-SGL D	58.00	3.57	0.5	5.07
IN3	1-SGL D	58.38	1.48	0.5	5.07
IN4	1-SGL D	58.38	1.87	0.5	5.07
IN5	1-SGL D	58.76	0.33	0.5	5.07
IN6	1-SGL D	59.15	1.20	0.5	5.07
IN7	1-SGL D	59.16	2.13	0.5	5.07
IN8	1-SGL D	57.07	1.68	0.5	5.07
IN9	1-SGL D	59.39	0.28	0.5	5.07
IN10	1-SGL D	58.64	3.36	0.5	5.07
IN11	1-SGL D	58.45	3.23	0.5	5.07
IN12	1-SGL D	59.51	4.37	0.5	5.07
IN13	1-SGL D	59.67	2.85	0.5	5.07
IN14	1-SGL D	58.80	1.75	0.5	5.07
IN15	1-SGL D	57.99	0.80	0.5	5.07
IN16	1-SGL D	57.35	2.43	0.5	5.07

THESE INLETS ACTUAL FLOW WILL BE UPDATED AND REVERSED UPON SUBMITTAL OF BUILDING PERMIT GRADING AND DRAINAGE PLAN. THE DOWNSTREAM STORM DRAIN SYSTEM WILL NOT BE AFFECTED BY THESE UPDATES.



1	8/30/2011	Phase 2 Modifications
2	8/30/2011	
3		



VICINITY MAP  
ZONE PLUS PAGE 2-13-1

**LEGEND**

- — — — — PROPERTY LINE
- — — — — EX SANITARY SEWER & MANHOLE
- — — — — EX STORM DRAIN & MANHOLE
- — — — — EX WATER LINE
- — — — — RELOCATED PUBLIC FIRE HYDRANT
- — — — — EX FIRE HYDRANT
- — — — — PRIVATE FIRE HYDRANT
- — — — — PROPOSED CLEANKUT
- — — — — PROPOSED SANITARY SEWER MANHOLE
- — — — — 8" SAS
- — — — — 2" W
- — — — — PROPOSED WATERLINE
- — — — — 6" W
- — — — — PROPOSED FIRELINE
- — — — — WATER METER VAULT

**WATER KEYED NOTES**

1. PRIVATE FIRE HYDRANT.
2. EXISTING PUBLIC FIRE HYDRANT TO REMAIN.
3. RELOCATE EXISTING OR INSTALL PUBLIC FIRE HYDRANT WITHIN NEW PUBLIC WATER LINE EASEMENT PER SIMULTANEOUS WORK ORDER.
4. EXISTING PUBLIC 6" CAST IRON WATER LINE TO REMAIN.
5. 2" x 10" PIPE ASSEMBLY TYPE IN PUBLIC EASEMENT AS REQUIRED.
6. 2" WATER METER.
7. 3/4" SERVICE WATER METERS (TWO PER BOX).
8. EXISTING 6" CAST IRON WATER LINE TO BE ABANDONED.
9. INSTALL P.V.
10. INSTALL BACKFLOW PREVENTER IN HOT BOX.
11. INSTALL PUBLIC FIRE HYDRANT.

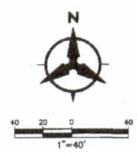
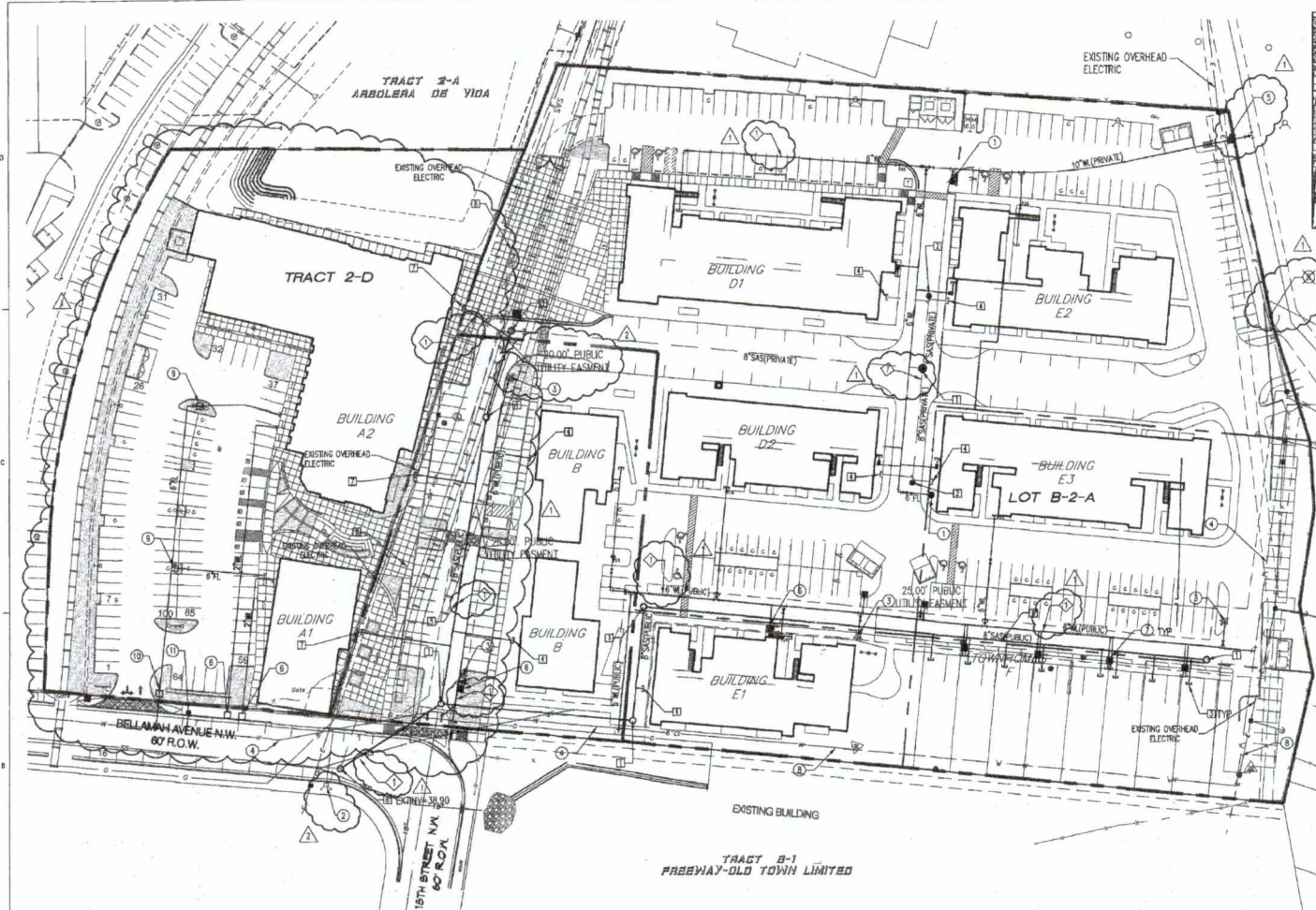
**SANITARY SEWER KEYED NOTES**

1. SAS MAN HOLE
2. SAS CLEAN OUT
3. 4" SAS SERVICE
4. 6" SAS SERVICE
5. 8" PUBLIC SAS W/ 24" SHARED EASEMENT PER SIMULTANEOUS WORK ORDER.
6. CONNECT TO EXISTING SAS.
7. 6" SAS SERVICE LINE WITH PRIVATE SAS EASEMENT.
8. EXISTING 60" SAS INTERCEPTOR W/ 30' EASEMENT.

**OVERALL UTILITY KEYED NOTES**

1. EXISTING UTILITIES PER CDA PROJECT #077505 SAWMILL VILLAGE BUILDING PERMIT PLANS.

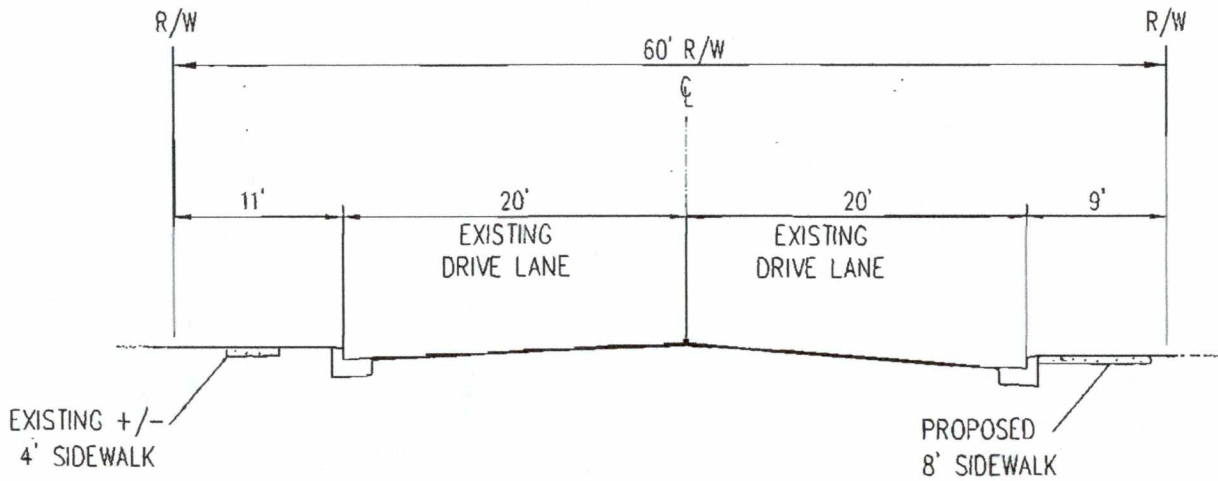
PUBLIC IMPROVEMENTS (PLUMBING, WATER, AND SANITARY SEWER) HAVE BEEN COMPLETED UNDER CDA PROJECT NUMBER 377505.



**UTILITY NOTES**

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANKUT PIPS, SERVICE STEPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWERS, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER CDA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL PREPARE ALL SUBMITTAL MATERIALS & PAY APPLICABLE FEES REQUIRED TO OBTAIN THE "MAIN WORK ORDER" REQUIRED FOR CONNECTION TO THE EXISTING CITY WATER MAIN AND OTHER "PUBLIC" WATER LINE CONSTRUCTION.

SAWMILL VILLAGE SITE



BELLAMAH AVENUE NW  
NOT TO SCALE

**Bohannon  Huston**

ARBOLERA DE VIDA  
AND SAWMILL VILLAGE UNIT(2B)

TRANSPORTATION EXHIBIT  
DRB CASE # 1005354

DRAWN BY:	MHS	DATE:	09/22/11
CHECKED BY:	MJB	BN PROJECT NO.	20120091
		ZONE ATLAS PAGE	H-13 & J-13

P:\2012\20091\20091.dwg  
 September 21, 2011 - 11:15am  
 L:\ppl\



1000



# PROJECT DATA:

Address: 18th Street and Bellamah Avenue N.W.

Zone Atlas Page: H-8-J-16-2 H-8-J-13-2

## The Site

### Phase 1

#### Legal Description:

Lots 1-10 within the Town of Albuquerque Grant in Projected Sections 7 and 16, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico.  
Address: 1701 Bellamah Ave. N.W.  
Zoning: SU-25U-1 for PRD  
Acreage: 7.4628

### Phase 2

#### Legal Description:

Tract 2-0 within the Arbores de Vida subdivision, Albuquerque, New Mexico, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 11, 2005 in Plat Book 2005C, Page 106  
Zoning: SU-25U-1 for PRD with Microbrewery  
Acreage: 2.5132  
Total acreage for both sites is 9.976

Cross access and drainage easements provided.

Phase 2 - Building A1 site development plans for building permit are delegated to the DRB for approval.

### Proposed Use

Site is being developed in two phases as mixed-use with housing, retail and active space (small retail spaces for artisan and incisor office space). Phase 2 has new single-story retail building and a building with active spaces and apartments above a two-story brewery and restaurant and a two-story performing arts center (KPA). The following is Phase 1 development. Lot 2 is ground floor Retail and two floors of Condominiums above. Lot 1 has two buildings with ground floor Active Spaces (brewery spaces), and Apartments on two floors above. The remaining three buildings on Lot 1 are Apartments on three floors. Lots 3-10 are Townhomes (eight total).

C1 and O1 permissive use allowed in PRD up to 25% of Total Gross Floor Area of Development.

### Pedestrian Ingress & Egress

The existing public sidewalk at along 18th Street is extended into the site and continues the length of the property along Bellamah. At the east side of the site is an opening for a potential connection with the adjacent development. A pedestrian trail is connected to this development. Sidewalks and plaza areas provide for on site connectivity and separation from vehicular traffic.

### Vehicular Ingress & Egress

Primary access is from 18th and Bellamah. A potential connection to Bellamah is provided on the east side of the property.  
Access is via drive aisles, 26' and 34' wide. Radii and parking spaces are shown on the Site Plan in compliance with the City D.P.M. An emergency vehicle path is shown from the north parking area across a roll-down curb and the paved plaza. This plan meets the criteria of City Traffic, Fire Marshal, and Solid Waste Department.

### Open Space (as defined in Zoning Code 14-16-1-5 and per R2 zone 14-16-2-11-4)

#### Phase 1

Required: (49 units @ 400 sf/ft) + (83 units @ 500sf/ft) + (63 units @ 600sf/ft) = 58,400 sf  
Provided: 125,326 sf (does not include balconies)

#### Phase 2

Required: 10 units @ 500sf/ft = 5,000sf  
Provided: 60,660 sf (does not include internal easement or pond)

### Maximum Building Heights

Building A1 and A2: 36' maximum  
Building B: 45' maximum  
Building C: 45' maximum  
Building D: 45' maximum  
Building E: 45' maximum  
Building F: 25' maximum  
Townhomes F: 25' maximum

### Minimum Building Setbacks (Excludes internal property lines)

South: 15'; East: 30'; North: 30'; West: 30'  
Accessory buildings allowed minimum setback of 0' lot line (14-16-3-3)

### Residential Development Density

Density shall not exceed 20 DU's per acre.

TRASH ENCLOSURE MOVED TO PREVIOUS PHASE ADDING 30' DUMPSTER FOR RECYCLING, MOTORCYCLE PARKING CHANGED TO STANDARD PARKING

Phase	Lot	Lot Size	Building Footprint	Net Area	Active Space	Total Building
Phase 1	Building B	55,075	8,054	7,801	0	26,375
Lot 1	Building D1	242,336	13,774	0	1,403	42,392
Lot 1	Building D2	1,111	0	0	0	27,445
Lot 1	Building D3	1,111	0	0	0	26,185
Lot 1	Building D4	1,111	0	0	0	26,185
Lot 1	Building D5	1,111	0	0	0	26,185
Lot 1	Building D6	1,111	0	0	0	26,185
Lot 1	Building D7	1,111	0	0	0	26,185
Lot 1	Building D8	1,111	0	0	0	26,185
Lot 1	Building D9	1,111	0	0	0	26,185
Lot 1	Building D10	1,111	0	0	0	26,185
Lot 1	Building D11	1,111	0	0	0	26,185
Lot 1	Building D12	1,111	0	0	0	26,185
Lot 1	Building D13	1,111	0	0	0	26,185
Lot 1	Building D14	1,111	0	0	0	26,185
Lot 1	Building D15	1,111	0	0	0	26,185
Lot 1	Building D16	1,111	0	0	0	26,185
Lot 1	Building D17	1,111	0	0	0	26,185
Lot 1	Building D18	1,111	0	0	0	26,185
Lot 1	Building D19	1,111	0	0	0	26,185
Lot 1	Building D20	1,111	0	0	0	26,185
Lot 1	Building D21	1,111	0	0	0	26,185
Lot 1	Building D22	1,111	0	0	0	26,185
Lot 1	Building D23	1,111	0	0	0	26,185
Lot 1	Building D24	1,111	0	0	0	26,185
Lot 1	Building D25	1,111	0	0	0	26,185
Lot 1	Building D26	1,111	0	0	0	26,185
Lot 1	Building D27	1,111	0	0	0	26,185
Lot 1	Building D28	1,111	0	0	0	26,185
Lot 1	Building D29	1,111	0	0	0	26,185
Lot 1	Building D30	1,111	0	0	0	26,185
Lot 1	Building D31	1,111	0	0	0	26,185
Lot 1	Building D32	1,111	0	0	0	26,185
Lot 1	Building D33	1,111	0	0	0	26,185
Lot 1	Building D34	1,111	0	0	0	26,185
Lot 1	Building D35	1,111	0	0	0	26,185
Lot 1	Building D36	1,111	0	0	0	26,185
Lot 1	Building D37	1,111	0	0	0	26,185
Lot 1	Building D38	1,111	0	0	0	26,185
Lot 1	Building D39	1,111	0	0	0	26,185
Lot 1	Building D40	1,111	0	0	0	26,185
Lot 1	Building D41	1,111	0	0	0	26,185
Lot 1	Building D42	1,111	0	0	0	26,185
Lot 1	Building D43	1,111	0	0	0	26,185
Lot 1	Building D44	1,111	0	0	0	26,185
Lot 1	Building D45	1,111	0	0	0	26,185
Lot 1	Building D46	1,111	0	0	0	26,185
Lot 1	Building D47	1,111	0	0	0	26,185
Lot 1	Building D48	1,111	0	0	0	26,185
Lot 1	Building D49	1,111	0	0	0	26,185
Lot 1	Building D50	1,111	0	0	0	26,185
Lot 1	Building D51	1,111	0	0	0	26,185
Lot 1	Building D52	1,111	0	0	0	26,185
Lot 1	Building D53	1,111	0	0	0	26,185
Lot 1	Building D54	1,111	0	0	0	26,185
Lot 1	Building D55	1,111	0	0	0	26,185
Lot 1	Building D56	1,111	0	0	0	26,185
Lot 1	Building D57	1,111	0	0	0	26,185
Lot 1	Building D58	1,111	0	0	0	26,185
Lot 1	Building D59	1,111	0	0	0	26,185
Lot 1	Building D60	1,111	0	0	0	26,185
Lot 1	Building D61	1,111	0	0	0	26,185
Lot 1	Building D62	1,111	0	0	0	26,185
Lot 1	Building D63	1,111	0	0	0	26,185
Lot 1	Building D64	1,111	0	0	0	26,185
Lot 1	Building D65	1,111	0	0	0	26,185
Lot 1	Building D66	1,111	0	0	0	26,185
Lot 1	Building D67	1,111	0	0	0	26,185
Lot 1	Building D68	1,111	0	0	0	26,185
Lot 1	Building D69	1,111	0	0	0	26,185
Lot 1	Building D70	1,111	0	0	0	26,185
Lot 1	Building D71	1,111	0	0	0	26,185
Lot 1	Building D72	1,111	0	0	0	26,185
Lot 1	Building D73	1,111	0	0	0	26,185
Lot 1	Building D74	1,111	0	0	0	26,185
Lot 1	Building D75	1,111	0	0	0	26,185
Lot 1	Building D76	1,111	0	0	0	26,185
Lot 1	Building D77	1,111	0	0	0	26,185
Lot 1	Building D78	1,111	0	0	0	26,185
Lot 1	Building D79	1,111	0	0	0	26,185
Lot 1	Building D80	1,111	0	0	0	26,185
Lot 1	Building D81	1,111	0	0	0	26,185
Lot 1	Building D82	1,111	0	0	0	26,185
Lot 1	Building D83	1,111	0	0	0	26,185
Lot 1	Building D84	1,111	0	0	0	26,185
Lot 1	Building D85	1,111	0	0	0	26,185
Lot 1	Building D86	1,111	0	0	0	26,185
Lot 1	Building D87	1,111	0	0	0	26,185
Lot 1	Building D88	1,111	0	0	0	26,185
Lot 1	Building D89	1,111	0	0	0	26,185
Lot 1	Building D90	1,111	0	0	0	26,185
Lot 1	Building D91	1,111	0	0	0	26,185
Lot 1	Building D92	1,111	0	0	0	26,185
Lot 1	Building D93	1,111	0	0	0	26,185
Lot 1	Building D94	1,111	0	0	0	26,185
Lot 1	Building D95	1,111	0	0	0	26,185
Lot 1	Building D96	1,111	0	0	0	26,185
Lot 1	Building D97	1,111	0	0	0	26,185
Lot 1	Building D98	1,111	0	0	0	26,185
Lot 1	Building D99	1,111	0	0	0	26,185
Lot 1	Building D100	1,111	0	0	0	26,185

Phase	Lot	Lot Size	Building Footprint	Net Area	Active Space	Total Building
Phase 1	Lot 1	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 2	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 3	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 4	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 5	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 6	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 7	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 8	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 9	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 10	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
Phase 2	Lot 1	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 2	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 3	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 4	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 5	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 6	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 7	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 8	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 9	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 10	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
Phase 3	Lot 1	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 2	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 3	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 4	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 5	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 6	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 7	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 8	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 9	Continuities	201	180	1.5 sq ft / 1000 sq ft	201
	Lot 10	Continuities	201	180	1.5 sq ft / 1000 sq ft	201



# PROJECT DATA:

Address: 18th Street and Bellamah Avenue N.W.

Zone Atlas Page: H&J-15-2 H&J-13-2

## The Site

### Phase 1:

#### Legal Description:

Lots 1 - 10 within the Town of Albuquerque Grant in Projected Sections 7 and 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico.  
Address: 1701 Bellamah Ave. N.W.  
Zoning: SU-25U-1 for PRD  
Acreage: 7.4628

### Phase 2:

#### Legal Description:

Tract 2-0 of the Arbores de Vida subdivision, Albuquerque, New Mexico, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 11, 2005 in Plat Book 2005C, Page 106  
Zoning: SU-25U-1 for PRD with Microbrewery  
Acreage: 2.5132

Total acreage for both sites is 9.976

Cross access and drainage easements provided.

Phase 2 (Building A1) site development plans for building permit are designed to the DRB for approval.

#### Proposed Use

Site is being developed in two phases as mixed-use with housing, retail and active space (small rental spaces for artists and incubator office space). Phase 2 has two single-story retail buildings and a building with active spaces and apartments above a two-story brewery and restaurant and a two-story performing arts center (RPCA). The following is Phase 1 development: Lot 2 is ground floor retail and two floors of condominiums above. Lot 1 has two buildings with ground floor Active Spaces (live-work spaces) and apartments on two floors above. The remaining three buildings on Lot 1 are apartments on three floors. Lots 3 - 10 are Townhomes (eight total).

CT and OT permeable use allowed in PRD up to 25% of Total Gross Floor Area of Development.

#### Pedestrian Ingress & Egress

The existing public sidewalk at along 18th Street is extended into the site and continues the length of the property along Bellamah. At the east side of the site is an opening for a potential connection with the adjacent development. A pedestrian trail is connected to this development. Sidewalks and plaza areas provide for on site connectivity and separation from vehicular traffic.

#### Vehicular Ingress & Egress

Primary access is from 18th and Bellamah. A potential connection to Bellamah is provided on the east side of the property.

#### Internal Circulation Requirements

Access is via drive aisles, 20' and 24' wide. Radial and parking spaces are shown on the Site Plan in compliance with the City D.P.M. An emergency vehicle path is shown from the north parking area across a roll-over curb and the paved plaza. This plan meets the criteria of City Traffic, Fire Marshal, and Solid Waste Department.

#### Open Space (as defined in Zoning Code 14-16-1-5 and per R2 zone 14-16-2-11-4)

##### Phase 1

Required: (40 units @ 400 sqft) + (82 units @ 500sqft) + (63 units @ 600sqft) = 68,400 sqft  
Provided: 125,328 sqft (does not include balconies)

##### Phase 2

Required: 10 units @ 500sqft = 5,000sqft  
Provided: 20,483 sqft (does not include roll-over easement or porch)

#### Maximum Building Heights

Building A1 and A2: 30' maximum

Building A2: 45' maximum

Building B: 40' maximum

Building C: 40' maximum NOT USED

Buildings D1, D2, E1, E2, E3: 45' maximum

Townhomes F: 28' maximum

#### Minimum Building Setbacks (Excludes internal property lines)

South: 15'; East: 30'; North: 30'; West: 30'

Accessory buildings allowed minimum setback of 0' lot line (14-16-3-3)

#### Residential Development Density

Density shall not exceed 20 DU's per acre.

Phase	Building	Lot Size	Building	Setback	Active Space	Total Building
Phase 1	Building A1	33,000	1,000	1,000	42,000	43,000
Phase 1	Building A2	248,336	13,774	3	2,000	274,113
Phase 1	Building B	8,241	3	3	10,000	10,000
Phase 1	Building C	3,000	3	3	10,000	10,000
Phase 1	Building D1	3,000	3	3	10,000	10,000
Phase 1	Building D2	3,000	3	3	10,000	10,000
Phase 1	Building E1	3,000	3	3	10,000	10,000
Phase 1	Building E2	3,000	3	3	10,000	10,000
Phase 1	Building E3	3,000	3	3	10,000	10,000
Phase 1	Building F	3,000	3	3	10,000	10,000
Phase 1	Building G	3,000	3	3	10,000	10,000
Phase 1	Building H	3,000	3	3	10,000	10,000
Phase 1	Building I	3,000	3	3	10,000	10,000
Phase 1	Building J	3,000	3	3	10,000	10,000
Phase 1	Building K	3,000	3	3	10,000	10,000
Phase 1	Building L	3,000	3	3	10,000	10,000
Phase 1	Building M	3,000	3	3	10,000	10,000
Phase 1	Building N	3,000	3	3	10,000	10,000
Phase 1	Building O	3,000	3	3	10,000	10,000
Phase 1	Building P	3,000	3	3	10,000	10,000
Phase 1	Building Q	3,000	3	3	10,000	10,000
Phase 1	Building R	3,000	3	3	10,000	10,000
Phase 1	Building S	3,000	3	3	10,000	10,000
Phase 1	Building T	3,000	3	3	10,000	10,000
Phase 1	Building U	3,000	3	3	10,000	10,000
Phase 1	Building V	3,000	3	3	10,000	10,000
Phase 1	Building W	3,000	3	3	10,000	10,000
Phase 1	Building X	3,000	3	3	10,000	10,000
Phase 1	Building Y	3,000	3	3	10,000	10,000
Phase 1	Building Z	3,000	3	3	10,000	10,000
Phase 2	Building A1	100,718	1,000	1,000	42,000	43,000
Phase 2	Building A2	100,718	1,000	1,000	42,000	43,000
Phase 2	Building B	100,718	1,000	1,000	42,000	43,000
Phase 2	Building C	100,718	1,000	1,000	42,000	43,000
Phase 2	Building D1	100,718	1,000	1,000	42,000	43,000
Phase 2	Building D2	100,718	1,000	1,000	42,000	43,000
Phase 2	Building E1	100,718	1,000	1,000	42,000	43,000
Phase 2	Building E2	100,718	1,000	1,000	42,000	43,000
Phase 2	Building E3	100,718	1,000	1,000	42,000	43,000
Phase 2	Building F	100,718	1,000	1,000	42,000	43,000
Phase 2	Building G	100,718	1,000	1,000	42,000	43,000
Phase 2	Building H	100,718	1,000	1,000	42,000	43,000
Phase 2	Building I	100,718	1,000	1,000	42,000	43,000
Phase 2	Building J	100,718	1,000	1,000	42,000	43,000
Phase 2	Building K	100,718	1,000	1,000	42,000	43,000
Phase 2	Building L	100,718	1,000	1,000	42,000	43,000
Phase 2	Building M	100,718	1,000	1,000	42,000	43,000
Phase 2	Building N	100,718	1,000	1,000	42,000	43,000
Phase 2	Building O	100,718	1,000	1,000	42,000	43,000
Phase 2	Building P	100,718	1,000	1,000	42,000	43,000
Phase 2	Building Q	100,718	1,000	1,000	42,000	43,000
Phase 2	Building R	100,718	1,000	1,000	42,000	43,000
Phase 2	Building S	100,718	1,000	1,000	42,000	43,000
Phase 2	Building T	100,718	1,000	1,000	42,000	43,000
Phase 2	Building U	100,718	1,000	1,000	42,000	43,000
Phase 2	Building V	100,718	1,000	1,000	42,000	43,000
Phase 2	Building W	100,718	1,000	1,000	42,000	43,000
Phase 2	Building X	100,718	1,000	1,000	42,000	43,000
Phase 2	Building Y	100,718	1,000	1,000	42,000	43,000
Phase 2	Building Z	100,718	1,000	1,000	42,000	43,000

## GENERAL NOTES

- All existing Structures, Paving, Fencing, Walls, Foundations, Sidewalks, to be Demolished and Replaced.
- Accessible curb cuts and ramps provided throughout site.
- Phase 1: All development on Lots 1-10
- Phase 2: All development on Phase 2
- See Plan for all easements.

## KEYED NOTES

- Phased Site Plan.
- Lot line, Typ.
- New site drives per COA Std. Dwg. 2426.
- Drainage pond, see Conceptual Grading Plan
- Existing sidewalk to remain
- Concrete sidewalks, 8' wide minimum (see plan), per COA Std. Dwg. 2430.
- Asphalt Drive, Aisle and Parking Spaces
- Entry feature using salvaged site metal/equipment.
- Temporary drainage easement to COA
- 48' Parking space per D.P.M. Figure 20-3-1
- Elevated walking area
- Landscaping, Typ. (see Landscape Plan)
- 18'x18' Sign
- Existing concrete to be replaced
- New concrete to be replaced
- Decorative paving, scored, color: gray
- Phase extended over pond - irrigation around
- Loading driveway, no dock
- Procedural passageway
- Building overhang with columns
- Plaza w/ decorative paving & landscaping
- Reinforced steel Sawdust Hopper
- Accessible parking space, 8' W. x 20' L. space W/5' W. aisle.
- Accessible van parking, 9' W. x 20' L. space W/9' W. aisle.
- Standard parking space, 8' W. x 20' L. typ. (18' L. where perimeter landscape strip)
- Building on adjacent property (more than 20' from property line)
- Motorcycle space, 4' W. x 8' L. min. typ.
- Single refuse containers, enclosure & concrete apron
- Double refuse containers, enclosure and concrete apron
- Monument sign, see SDR4
- Revised site plan, see SDR4
- Utility easement
- Mountable roll curb for emergency vehicle access

## SHEET INDEX:

- |       |                                       |
|-------|---------------------------------------|
| SDP1  | Site Development Plan for Subdivision |
| SDP2  | Landscape Plan                        |
| SDP3  | Design Standards & Context Graphic    |
| SDP4  | Building & Elevation NOT USED         |
| SDP5  | Building & Elevation NOT USED         |
| SDP6  | Building & Elevation NOT USED         |
| SDP7  | Building & Elevation NOT USED         |
| SDP8  | Building & Elevation NOT USED         |
| SDP9  | Conceptual Grading Plan               |
| SDP10 | Conceptual Drainage Management Plan   |
| SDP11 | Conceptual Utility Plan               |

- Patio enclosure, 6' high maximum, typ.
- Parallel parking
- 10' wide landscape setback w/ 10' high
- Concrete retaining wall (colored CAD wall)
- Existing roller door to be removed
- Gravel with roll-up curb for emergency vehicle traffic
- Bicycle rack
- Vehicle back-up space
- Sidewalk connection to pedestrian trail on adjacent property
- Not used. Screen wall
- 24' maximum roll curb for utility vehicle access
- Revised site plan, 1/10/2015
- Dedicated back-up space (No Parking)
- Curb, 3' wide planting strip, and 6' wide sidewalk
- Existing power pole to remain
- Open steel tube fence, 6' high, to match fence at Sawmill Lofts. Color: silvergray
- 42" Metal guard rail, 42" h. color silvergray, matte finish
- Existing railroad tracks
- Open metal fence w/ 15' L. typ. Paint
- Compact parking space, 8' W. x 15' L. typ. Paint
- "Small Car Space" on pavement
- 8' high decorative wall
- Sidewalk at west edge of diagonal parking curb to be constructed in Phase II
- New location of power pole
- Townhome driveway with apron at sidewalk to allow vehicle access
- 20' public access easement at drive aisle starting east at Bellamah connection and south to 18th Street
- Proposed future recycling area
- 24' wide access easement at drive aisle, starts south at the 20' drive aisle easement and extends north to the north property line
- Light pole, Type "N", refer to SDR4 for height
- Light pole, Type "T", refer to SDR4 for height
- Light pole, Type "H", refer to SDR4 for height
- Concrete curb
- 24' wide access easement at drive aisle, starts south at the 20' drive aisle easement and extends north to the north property line

505.761.9708 / DPSDESIGN.ORG  
ADMINISTRATIVE AMENDMENT  
FILE # 1005354  
MODIFICATIONS TO PHASES  
1.6 H.C. ADDITION OF MONUMENT  
SIGN (LOCATION ONLY)  
APPROVED BY DATE  
6-10-2015

## ENGINEER

AA  
SUBMITAL  
6/10/2015

## PROJECT

MADERA CROSSING (at Sawmill Village)  
Bellamah Avenue & 18th Street  
Albuquerque, New Mexico

## REVISIONS

- |   |         |                  |
|---|---------|------------------|
| 1 | 7/20/11 | PHASE INDICATORS |
| 2 | 8/20/11 | PHASE INDICATORS |
| 3 | 8/20/11 | PHASE INDICATORS |

## DRAWN BY

CM, MAH

## REVIEWED BY

CM, MAH

DATE 6/10/2015

PROJECT NO. 14-0009

DRAWING NAME

SITE DEVELOPMENT

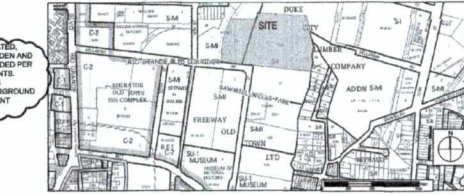
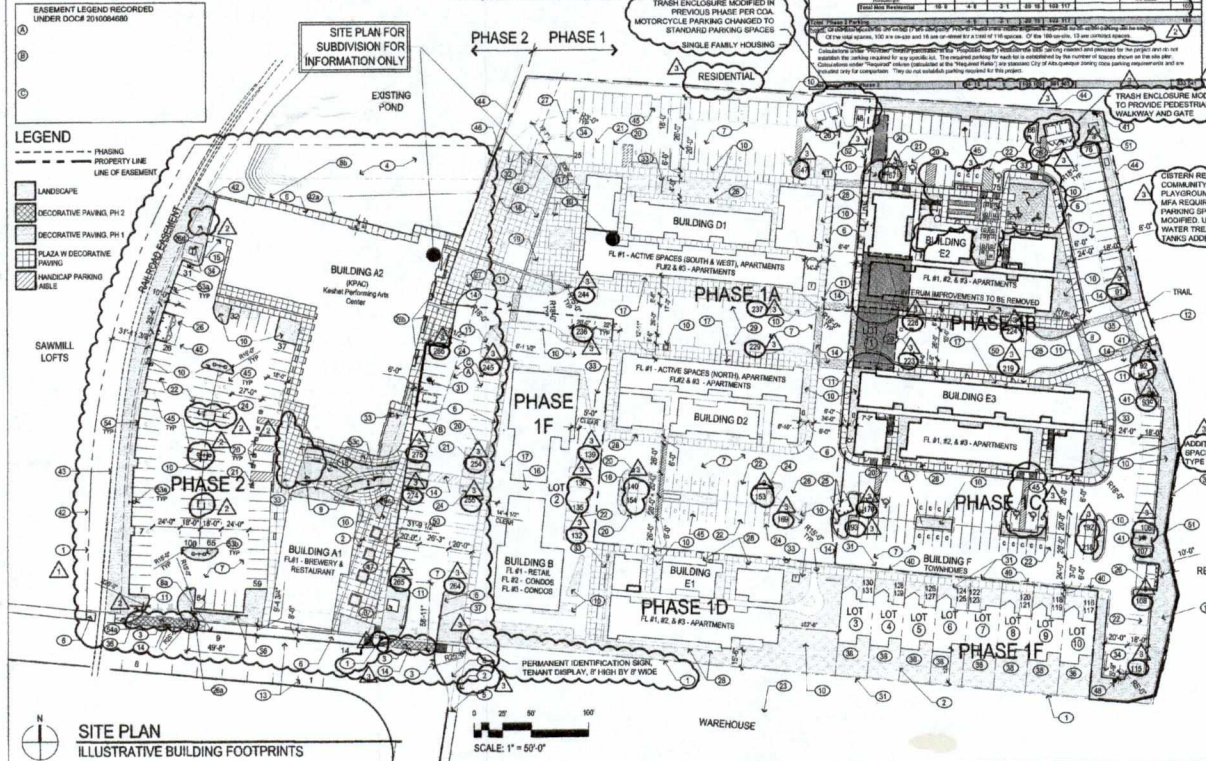
PLAN FOR

BUILDING PERMIT

## SHEET NO.

SDP-1

1 OF 9



## VICINITY MAP

ZONING ATLAS PAGE: H&J-13-2

PROJECT NUMBER: 1005354

Application Number

This plan is consistent with the specific City Development Plan approved by the Environmental Planning Commission (EPC), dated 10/16/2007, and the Findings and Conditions of the Official Notification of Decision are satisfied.

Is an Infrastructure List required? [X] Yes [ ] No. If yes, then a set of approved DHC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division

Water Utility Department

Parks and Recreation Department

City Engineer

\*Environmental Health Department (conditional)

Spill Waste Management

DRB Chairperson, Planning Department

\*Environmental Health, if necessary

SITE PLAN  
ILLUSTRATIVE BUILDING FOOTPRINTS

SCALE: 1" = 50'-0"